

DC EXHIBIT A

SEE page A1.2 &
AG1 for Building
Code requirements

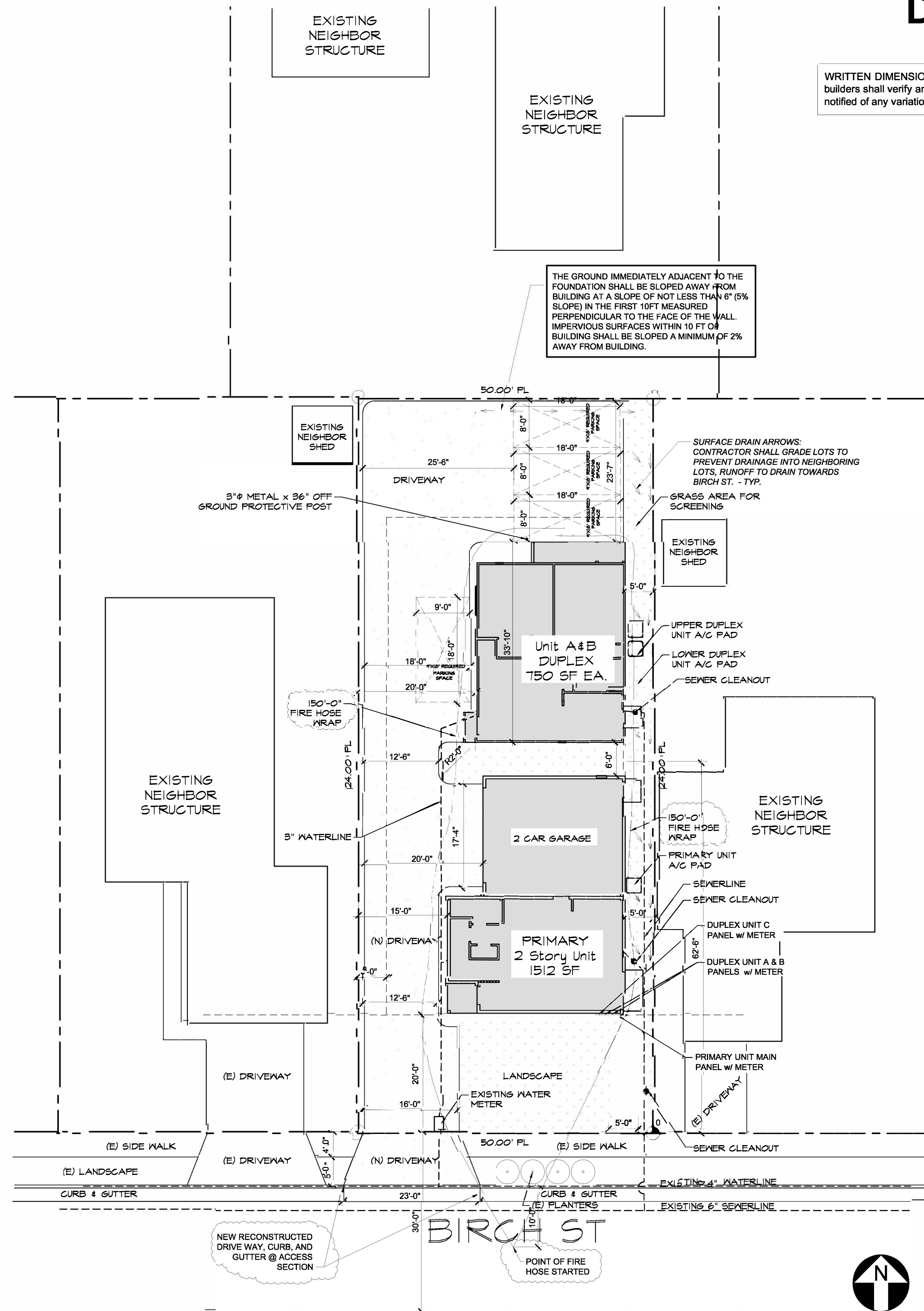
WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALE DIMENSIONS. Contractors and home owner builders shall verify and be responsible for dimensions and conditions of the project. Fineline Drafting services must be notified of any variation from the dimensions, conditions and specification appearing on this plan.

OWNER / CONTRACTOR NOTE:

ALL OF THE VERIFYING PLUS / MINUS DIMENSIONS ON THE PLANS ARE TO BE DISCUSSED WITH THE DESIGNER OR ENGINEER BEFORE THE CONSTRUCTION BY THE CONTRACTOR AND OWNER.

DUPLEX	825 SF
SINGLE UNIT	996 SF
TOTAL STRUCTURE	1,821 SF
LOT FOOTAGE	6,200 SF
LOT COVERAGE	29.3%

GRADING PLAN IS NOT REQUIRED FOR THIS SUBDIVISION FLAT GRADED LOT THAT READY FOR BUILDING CONSTRUCTION



SITE PLAN

SCALE 1"=10'

PH (916) 332 22 82
FINE@FINELINE.DRAFTING.NC.
www.fine.drafting.com
530 FIRMING DR. STE 119 SACRAMENTO, CA 95828

Fineline
DRAFTING INC.
EST. 2008
CALIFORNIA CORPORATE SEAL

SHEET TITLE
SITE PLAN

PROJECT
PRIMARY RESIDENCE
141 BIRCH ST.
ROSEVILLE, CA 95678

OWNER-CONTACT
Perfect Home Solutions LLC /
Sergey Brodskiy

PROJECT
24-049

DATE
07/11/2024

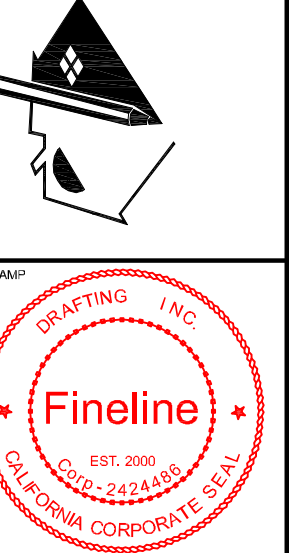
DESIGNER
MJ

Sheet
A2

WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALE DIMENSIONS. Contractors and home owner builders shall verify and be responsible for dimensions and conditions of the project. Fineline Drafting services must be notified of any variation from the dimensions, conditions and specification appearing on this plan.

SEE page A1.2 & AG1 for Building Code requirements

PH (916) 332 2282
 fineline300@comcast.net
 www.finelineDfnc.com
Fineline DRAFTING INC.
 5330 Primrose Drive suite 119, Sacramento, CA 95828



FLOOR PLAN

PRIMARY RESIDENCE
 141 BIRCH ST.
 ROSEVILLE, CA 95678

PROJECT NAME
PRIMARY RESIDENCE
 141 BIRCH ST.
 ROSEVILLE, CA 95678

OWNER- CONTACT
Perfect Home Solutions LLC / Sergey Brodsky

PROJECT
 24-049

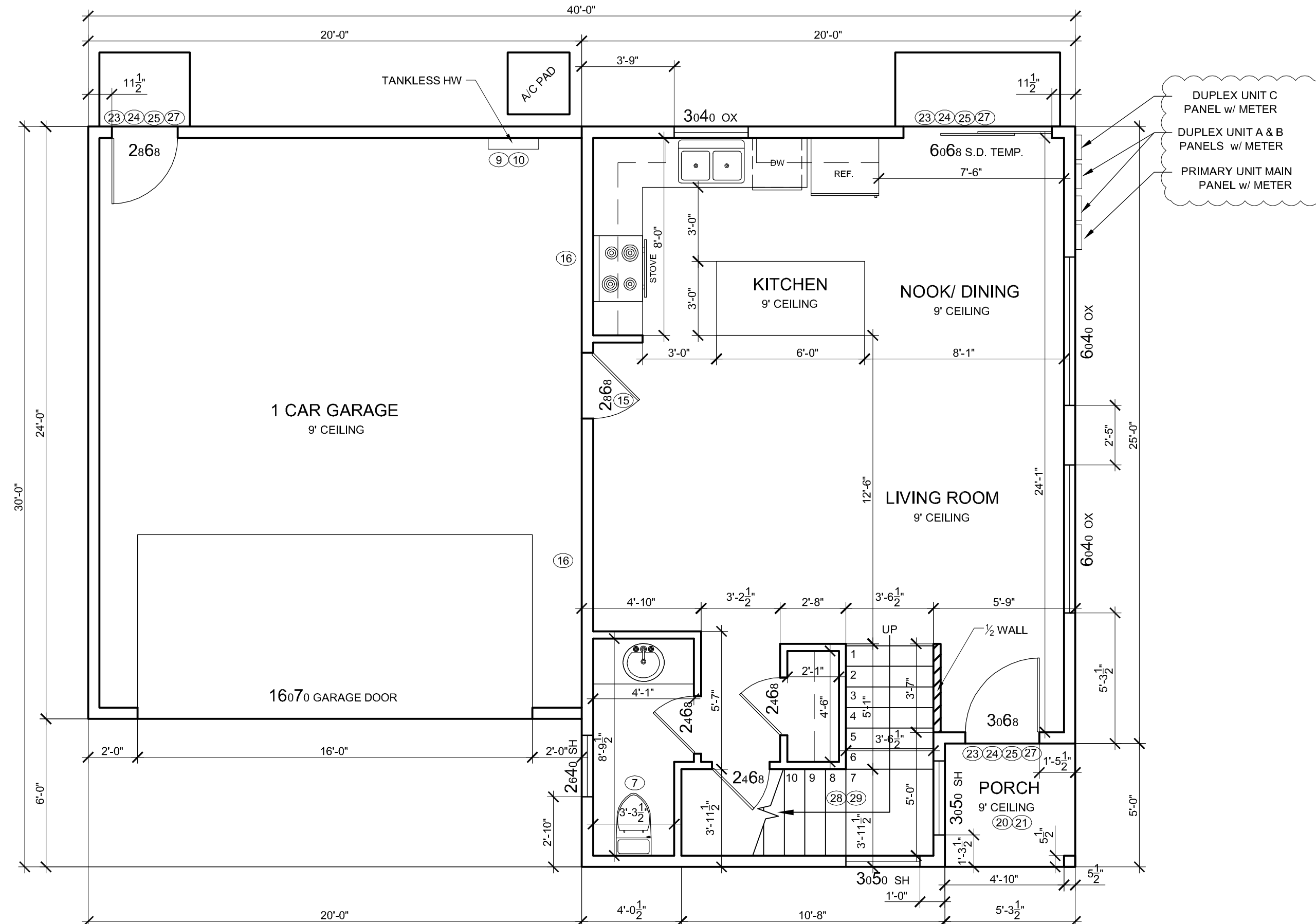
DATE
 06/13/2024

DESIGNER
 MJ

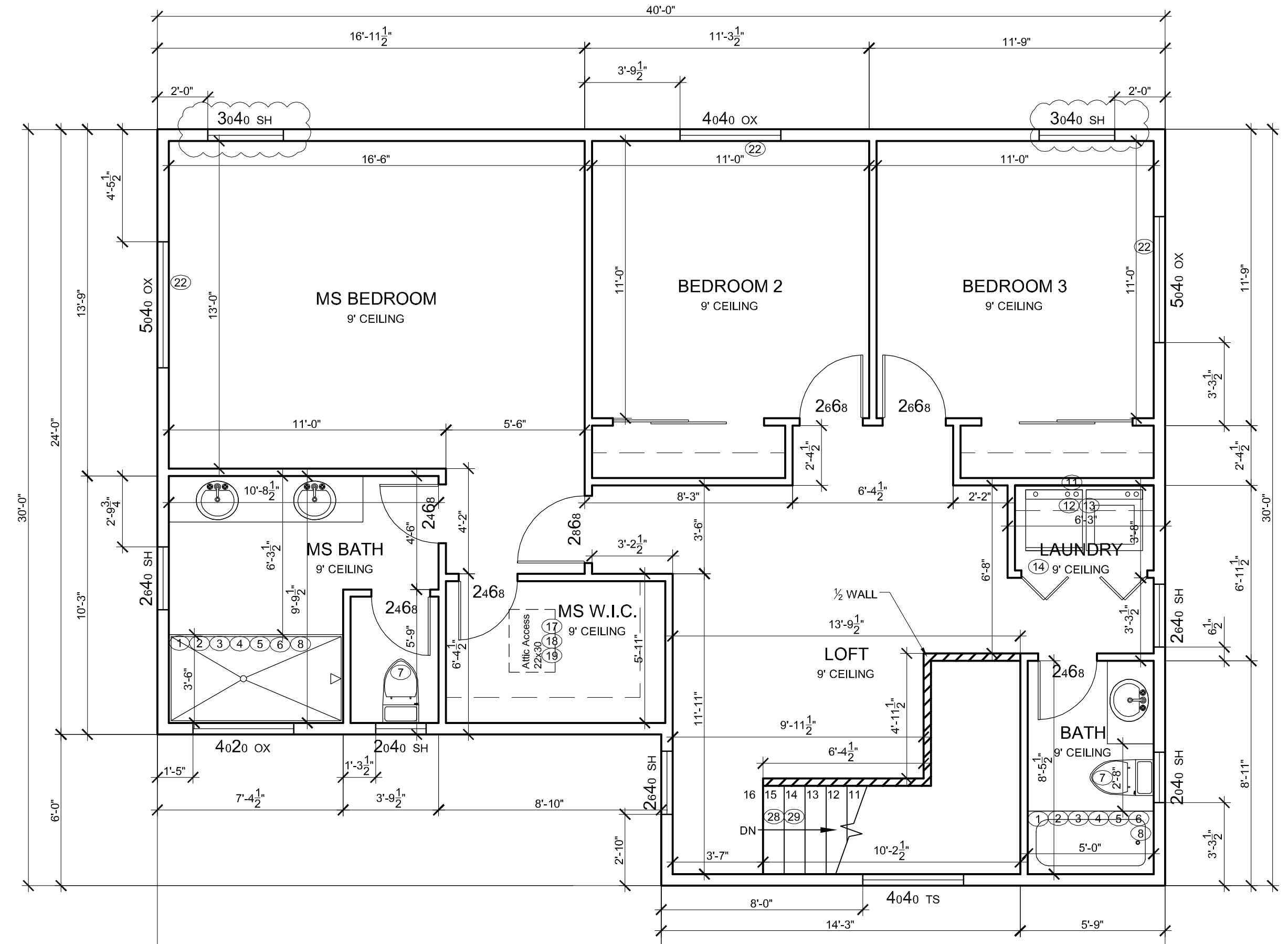
Sheet
A3

KEY NOTES

- 1 Tempered glass doors/ cover for shower and bath tub
- 2 Shower compartment regardless of shape, having a minimum of interior floor area of 1.024 square in, and also capable of encompassing 30 in circle
 -Opening shower access should not be less than 22"
 -Provide with pressure balance or thermostatic mixing valve controls.
 -Wall should have a smooth, hard, nonabsorbent surface (e.g., ceramic tile) over an approved moisture resistant underlayment or Hardi Backer Fibercement board Layer, height to be 72" above the drain inlet
- 3 Hot mop or sheet membrane system under 1 1/2" mortar bed with reinforcing, and 3/8" thick tile (hard surface) in shower.
- 4 Showers and tub shower combinations that a pressure balance or thermostatic type mixing valve shall be provide to deliver a maximum water temperature of 120 degrees at the fixture.
- 5 Non adsorbent surface at tub walls should continue to a height of 6ft above finished floor.
- 6 Glazing in enclosures for or walls facing hot tubs, whirlpools, saunas, showers, steam rooms and bathtubs where bottom edge of glazing is less than 60" measured vertically above any standing or walking surface shall be tempered. CRC R308.4
- 7 Toilets shall not be install closer than 15" from center to any finish wall or obstruction and also with a minimum of 24" clear floor space in front of the toilet.
- 8 SHOWER: water-resistant gypsum board shall not be installed in a shower or tub compartment and shall not be used where there will be direct exposure to water, or in areas subject to continuous high humidity per CRC Sec. R 702.3.8 & R702.3.8.1.
- 9 Combustion air from exterior for gas HW
- 10 Hot water gas exhaust to the exterior provide PRV drain pipe from HW to the exterior
- 11 Plumbing wall with 2x6 stud wall
- 12 Smooth metal duct for dryer exhaust extending to outside with back draft damper this duct shall not exceed a total combined horizontal and vertical length of 14' including two 90° elbows. Two feet shall be deducted for each 90° elbow in excess of two
- 13 Clothes dry vent shall be vented to the outdoors.
- 14 Provide Door with min 10"x14" louver or vent to make up air in laundry area. per CMC sec. 504.3.1
- 15 1-3/8" solid core door, or 20 minutes fire proof door (self closing)
- 16 Provide a one-hour fire resistive separation between garage and dwelling
- 17 Required 24" flat from catwalk to FAU (not to exceed 20 ft) with light and switch near by access. Min. of 30" headroom req'd
 A minimum of 22"x30" readily accessible attic access with a minimum of 30" headroom above for each separate attic area. No shelving below attic access. Attic must be readily accessible
 Provide 5"x8" pad in attic for HVAC with min clearance of 30" head room and 5'-0" wide. Switch and light is provided near by. Provide 24" cat walk from HVAC to the nearest access from min of 20'-0" away. Permanent electric outlet and lighting fixture control by a switch located at the attic access, and near by the furnace are required. Cooling unit should have the 2nd watertight pan installed beneath the unit
- 20 Hot mop or sheet membrane system under 1 1/2" mortar bed with reinforcing, and finishing with thick layer of light concrete (hard surface) at balcony with stucco finish @ ceiling. Min 2% slope.
- 21 All porch ceilings with stucco finish are to be sheathed with 5/8" OSB and ring sinker nails for stucco support typ. If there is no gal. metal sheet layer provided.
- 22 Egress windows with min of 5.7 ft opening, min. of 24" height clear, and 20" wide clear is required. max. of 44" from finish floor to the opening bottom of windows
- 23 Minimum 36" deep landing outside the main exterior egress door, the landing shall not be more than 7.75' lower than the threshold for the main entrance in-swing door, (1-1/2' for out swinging)
- 24 7-3/4" maximum vertical change in elevation at the new exterior doors CRC R311.3.2
- 25 Landing shall have MAX. 2% slope away from foundation - typ.
- 26 Min 2% slope @ garage finish. It shall be sloped to facilitate the movement of liquids to an approve drain or toward the main vehicle door
- 27 Concrete landings or finish at the required egress door shall not be more than 1.5' lower that the top of the threshold (Exception: 7.75' max if door does not swing over landing or floor) per CRC section R311.3.1.
- 28 Rise and run of stairway are 4 inch min./ 7.75 inch max. of rise, and 10 inch min. of run. Provide a nosing of 1" for the stairway treads less than 11 inches in depth.
- 29 Enclosed accessible space under stairs shall have the walls, under stair surface and soffits protected on the enclosed side with 1/2" gypsum board. CRC R302.7.



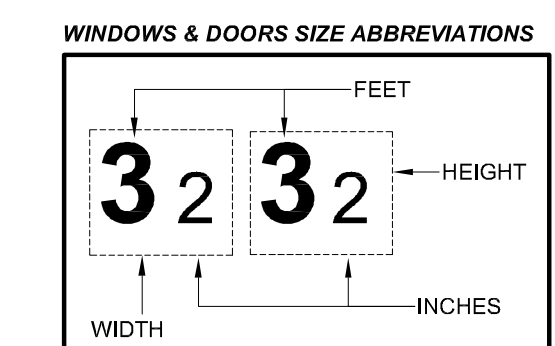
PROPOSED MAIN LEVEL - 574 SF FLOOR PLAN
 SCALE 1/4" = 1'-0"



PROPOSED UPPER LEVEL - 938 SF FLOOR PLAN
 SCALE 1/4" = 1'-0"

Window Abbreviations

OX	- Hoz. Slide Window
TS	- Above Transom
FX	- Fix Window
SH	- Single Hung Type
CS	- Casement Type
AW	- Awning Type



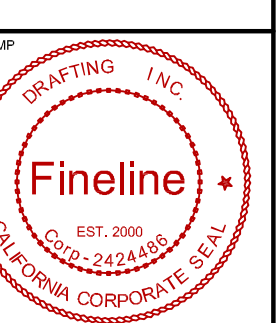
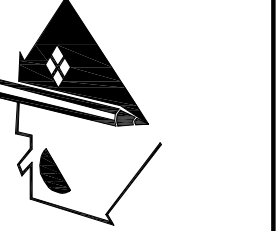
ALTERNATE PLUMBING MATERIAL P.E.X PLASTIC IS PROPOSED TO BE USED IN THIS BUILDING.

OWNER / CONTRACTOR NOTE:
 ALL OF THE VERIFYING PLUS / MINUS DIMENSIONS ON THE PLANS ARE TO BE DISCUSSED WITH THE DESIGNER OR ENGINEER BEFORE THE CONSTRUCTION BY THE CONTRACTOR AND OWNER.

WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALE DIMENSIONS. Contractors and home owner builders shall verify and be responsible for dimensions and conditions of the project. Fineline Drafting services must be notified of any variation from the dimensions, conditions and specification appearing on this plan.

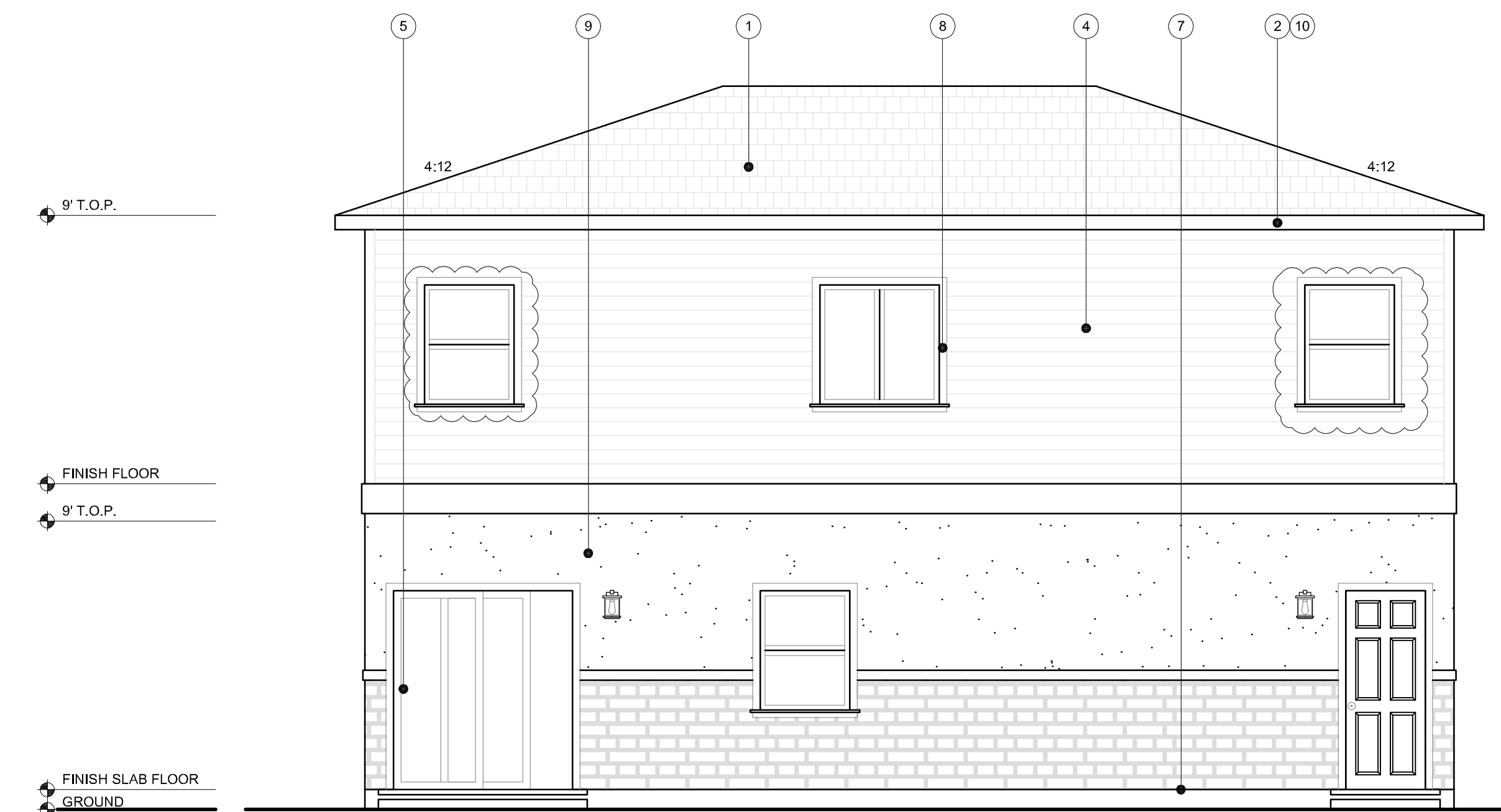
SEE page A1.2 & AG1 for Building Code requirements

PH (916) 332 2282
 fineline300@comcast.net
 www.finelineDnc.com
Fineline
 DRAFTING INC.
 5530 Primrose Drive suite 119, Sacramento, CA 95828



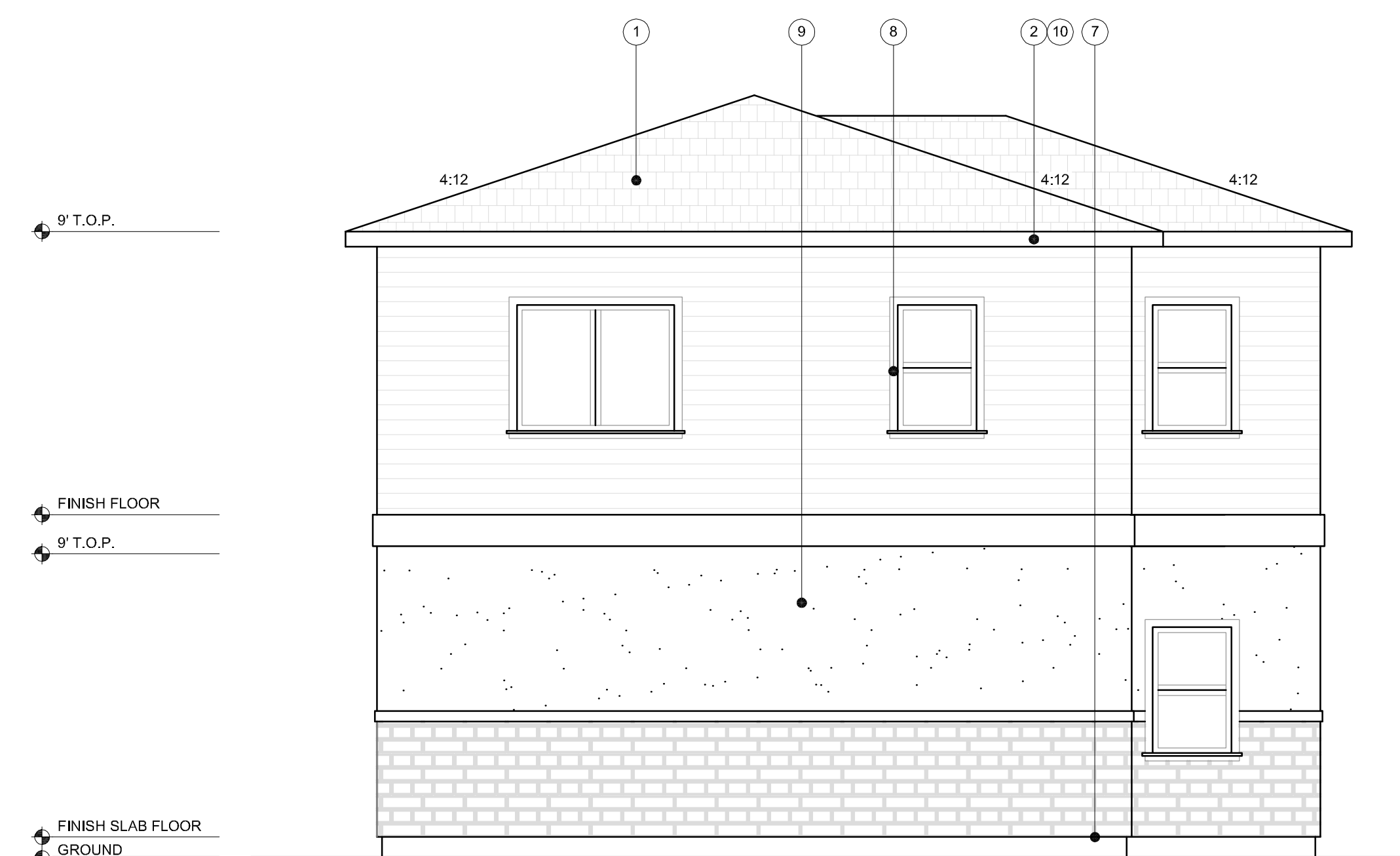
FRONT ELEVATION

SCALE 1/4" = 1'-0"



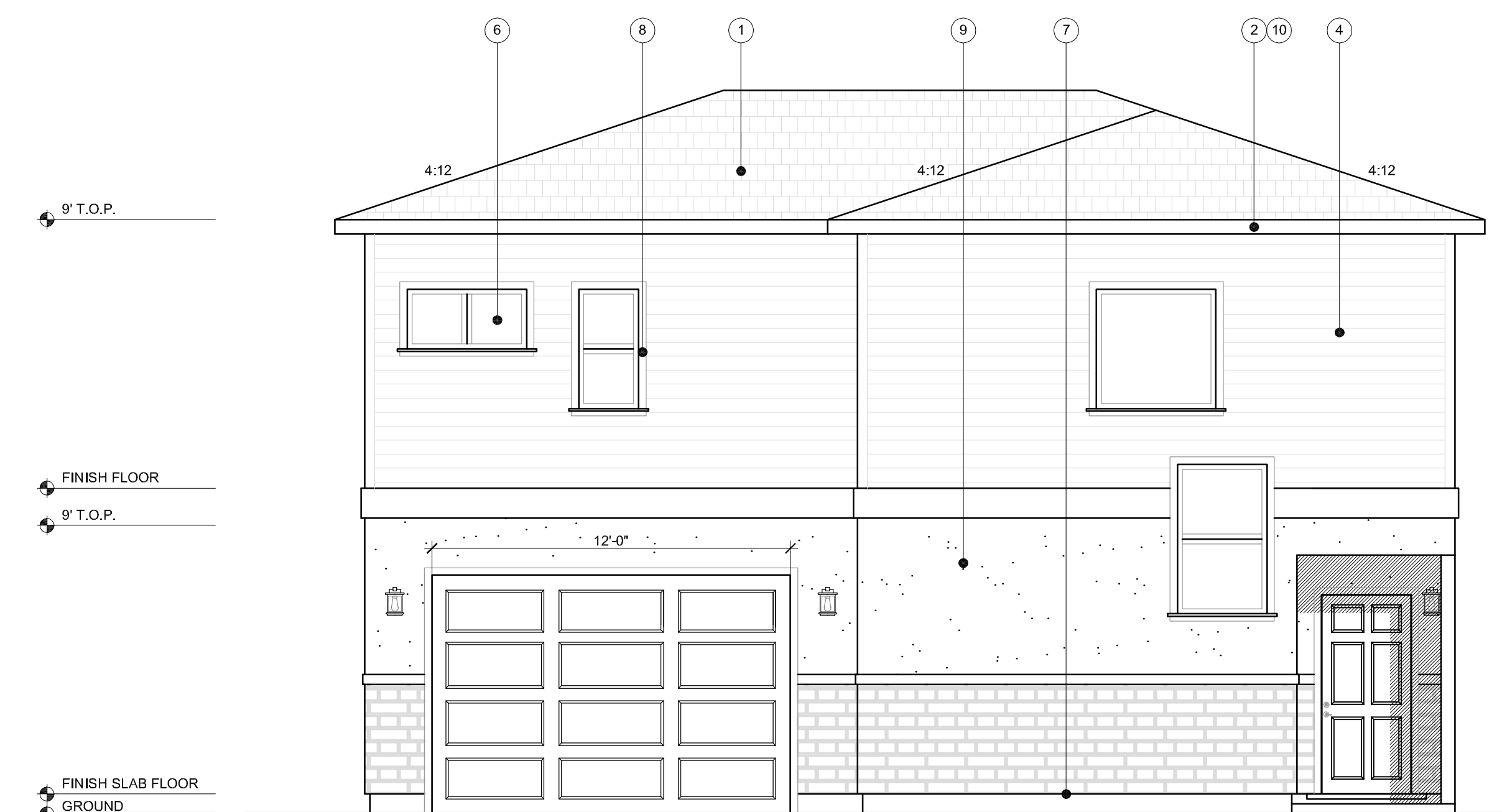
RIGHT ELEVATION

SCALE 1/4" = 1'-0"



REAR ELEVATION

SCALE 1/4" = 1'-0"



LEFT ELEVATION

SCALE 1/4" = 1'-0"

- LEGEND** ○
- Class A 40 year laminated dimensional composition roof finish over 15# felt layer typ.
 - 7" metal gutter attached directly to trusses's overhanging ends.
 - Address number plate on the building elevation which shall be clearly visible from the adjacent access street or road. The numbers shall be no less than 4" in height and 1/2" in width and shall be of a contrasting color and illuminated at night.
 - HARDIE BRD SIDING
 - Tempered glass doors
 - Tempered glass window
 - 26 gauge galvanized weep screed below stucco or stone veneer a minimum 4 inches above grade, or 2 inches above paved surfaces - typ.
 - 3" HARDIE BRD WINDOW TRIMS
 - 1 COAT STUCCO SYSTEM**
 - 15# Moisture layer overlay,
 - then 1" foam layer, wire mesh,
 - 1 coat base stucco 3/8" to 1/2" thick 4) finish colored layer.
 - Acrylic primer layer before the finish layer is optional.
 - has 26-gauge galvanized weep screed at foundation plate line at least 4-inches above grade or 2-inches above concrete or paving.
 - Metal drip edge is required for all composition roof installation
 - Stone veneer finish:**
 - moisture barrier layer that is equivalent to 2 layers of grade D paper per CRC R703.12.3
 - metal lath
 - scratch coat
 - setting bed
 - veneer stones

SHEET TITLE
ELEVATIONS

PROJECT NAME
**PRIMARY RESIDENCE
141 BIRCH ST.
ROSEVILLE, CA 95678**

OWNER- CONTACT
**Perfect Home Solutions LLC /
Sergey Brodskiy**

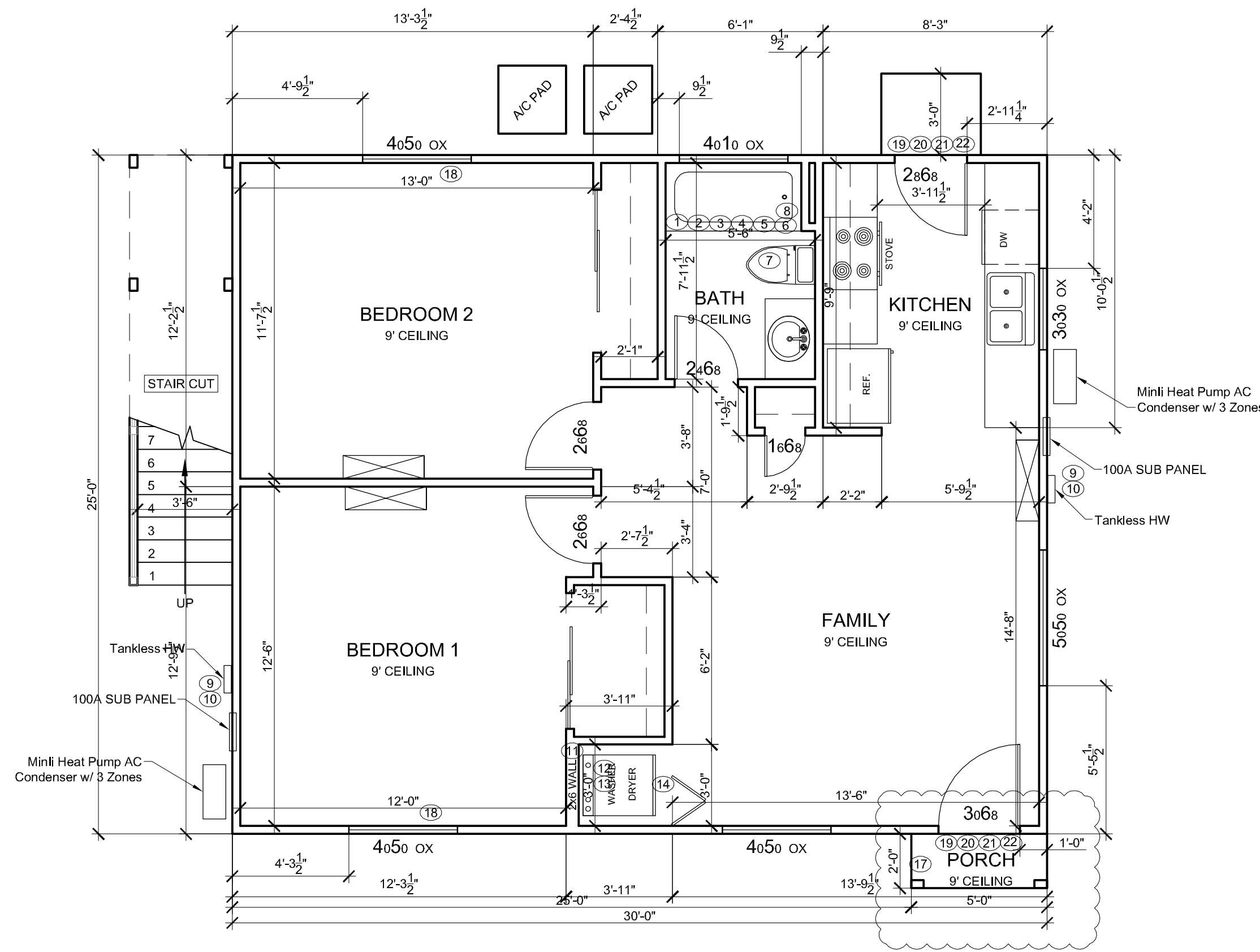
PROJECT
24-049
DATE
05/14/2024
DESIGNER
MJ

Sheet
A5

OWNER / CONTRACTOR NOTE:
 ALL OF THE VERIFYING PLUS / MINUS DIMENSIONS ON THE PLANS ARE TO BE DISCUSSED WITH THE DESIGNER OR ENGINEER BEFORE THE CONSTRUCTION BY THE CONTRACTOR AND OWNER.

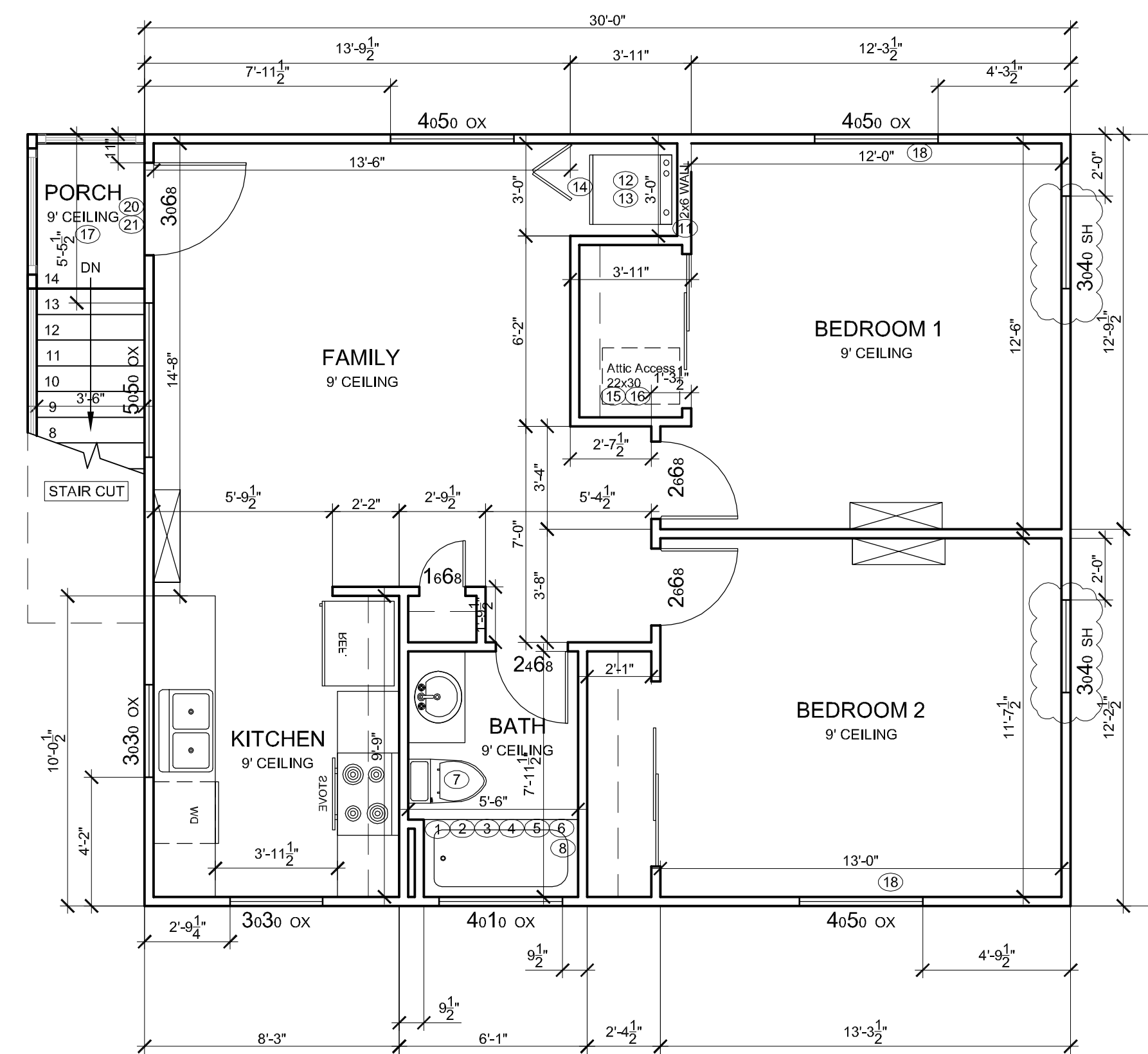
WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALE DIMENSIONS. Contractors and home owner builders shall verify and be responsible for dimensions and conditions of the project. Fineline Drafting services must be notified of any variation from the dimensions, conditions and specification appearing on this plan.

SEE page A1.2 & AG1 for Building Code requirements



PROPOSED UNIT 2 GROUND LEVEL - 750 SF
FLOOR PLAN

SCALE 1/4" = 1'-0"



PROPOSED UNIT 3 UPPER LEVEL - 750 SF
FLOOR PLAN

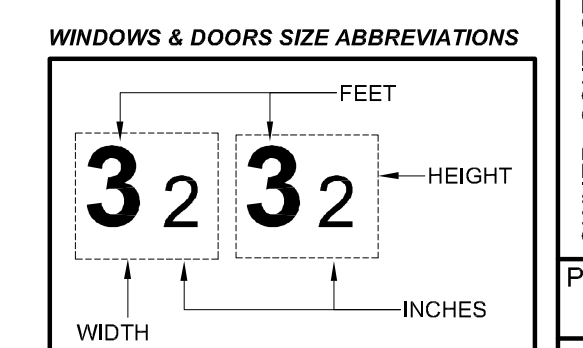
SCALE 1/4" = 1'-0"

KEY NOTES

- ① Tempered glass doors/ cover for shower and bath tub
- ② Shower compartment regardless of shape, having a minimum of interior floor area of 1,024 square in, and also capable of encompassing 30 in circle
-Opening shower access should not be less than 22"
-Provide with pressure balance or thermostatic mixing valve controls.
-Wall should have a smooth, hard, nonabsorbent surface (e.g., ceramic tile) over an approved moisture resistant underlayment or Hardi Backer Fibercement board Layer, height to be 72" above the drain inlet
- ③ Hot mop or sheet membrane system under 1 1/2" mortar bed with reinforcing, and 1/2" thick tile (hard surface) in shower.
- ④ Showers and tub shower combinations that a pressure balance or thermostatic type mixing valve shall be provide to deliver a maximum water temperature of 120 degrees at the fixture.
- ⑤ Non adsorbent surface at tub walls should continue to a height of 6ft above finished floor.
- ⑥ Glazing in enclosures for or walls facing hot tubs, whirlpools, saunas, showers, steam rooms and bathtubs where bottom edge of glazing is less than 60" measured vertically above any standing or walking surface shall be tempered. CRC R308.4
- ⑦ Toilets shall not be install closer than 15" from center to any finish wall or obstruction and also with a minimum of 24" clear floor space in front of the toilet.
- ⑧ SHOWER: water-resistant gypsum board shall not be installed in a shower or tub compartment and shall not be used where there will be direct exposure to water, or in areas subject to continuous high humidity per CRC Sec. R 702.3.8 & R702.3.8.1.
- ⑨ Combustion air from exterior for gas HW
- ⑩ Hot water gas exhaust to the exterior provide PRV drain pipe from HW to the exterior
- ⑪ Plumbing wall with 2x6 stud wall
- ⑫ Smooth metal duct for dryer exhaust extending to outside with back draft damper this duct shall not exceed a total combined horizontal and vertical length of 14' including two 90° elbows. Two feet shall be deducted for each 90° elbow in excess of two
- ⑬ Clothes dry vent shall be vented to the outdoors.
- ⑭ Provide Door with min 10"x14" louver or vent to make up air in laundry area. per CMC sec. 504.3.1
- ⑮ Required 24" flat from catwalk to FAU (not to exceed 20 ft) with light and switch near by access. Min. of 30" headroom req'd
- ⑯ A minimum of 22"x30" readily accessible attic access with a minimum of 30" headroom above for each separate attic area. No shelving below attic access. Attic must be readily accessible
- ⑰ All porch ceilings with stucco finish are to be sheathed with 5/8" OSB and ring sinker nails for stucco support typ. If there is no gal. metal sheet layer provided.
- ⑱ Egress windows with min of 5.7 ft opening, min. of 24" height clear, and 20" wide clear is required, max. of 44" from finish floor to the opening bottom of windows
- ⑲ Minimum 36" deep landing outside the main exterior egress door, the landing shall not be more than 7.75" lower than the threshold for the main entrance in-swing door, (1-1/2" for out swinging)
- ⑳ 7-1/2" maximum vertical change in elevation at the new exterior doors CRC R311.3.2
- ㉑ Landing shall have MAX. 2% slope away from foundation - typ.
- ㉒ Concrete landings or finish at the required egress door shall not be more than 1.5" lower than the top of the threshold (Exception: 7.75" max if door does not swing over landing or floor) per CRC section R311.3.1.

Window Abbreviations

OX	- Hoz. Slide Window
TS	- Above Transom
FX	- Fix Window
SH	- Single Hung Type
CS	- Casement Type
AW	- Awning Type



OWNER / CONTRACTOR NOTE:

ALL OF THE VERIFYING PLUS / MINUS DIMENSIONS ON THE PLANS ARE TO BE DISCUSSED WITH THE DESIGNER OR ENGINEER BEFORE THE CONSTRUCTION BY THE CONTRACTOR AND OWNER.

ALTERNATE PLUMBING MATERIAL P.E.X PLASTIC IS PROPOSED TO BE USED IN THIS BUILDING.

PH (916) 332 2282
fineline300@comcast.net
www.finelineDnc.com
5300 Primrose Drive suite 119, Sacramento, CA 95823

Fineline DRAFTING INC.

EST. 2008
CALIFORNIA CORPORATE SEAL

SHEET TITLE
FLOOR PLAN

PROJECT NAME
**DUPLEX
141 BIRCH ST. - UNIT A & B
ROSEVILLE, CA 95678**

OWNER- CONTACT
**Perfect Home Solutions LLC /
Sergey Brodskiy**

PROJECT
24-051

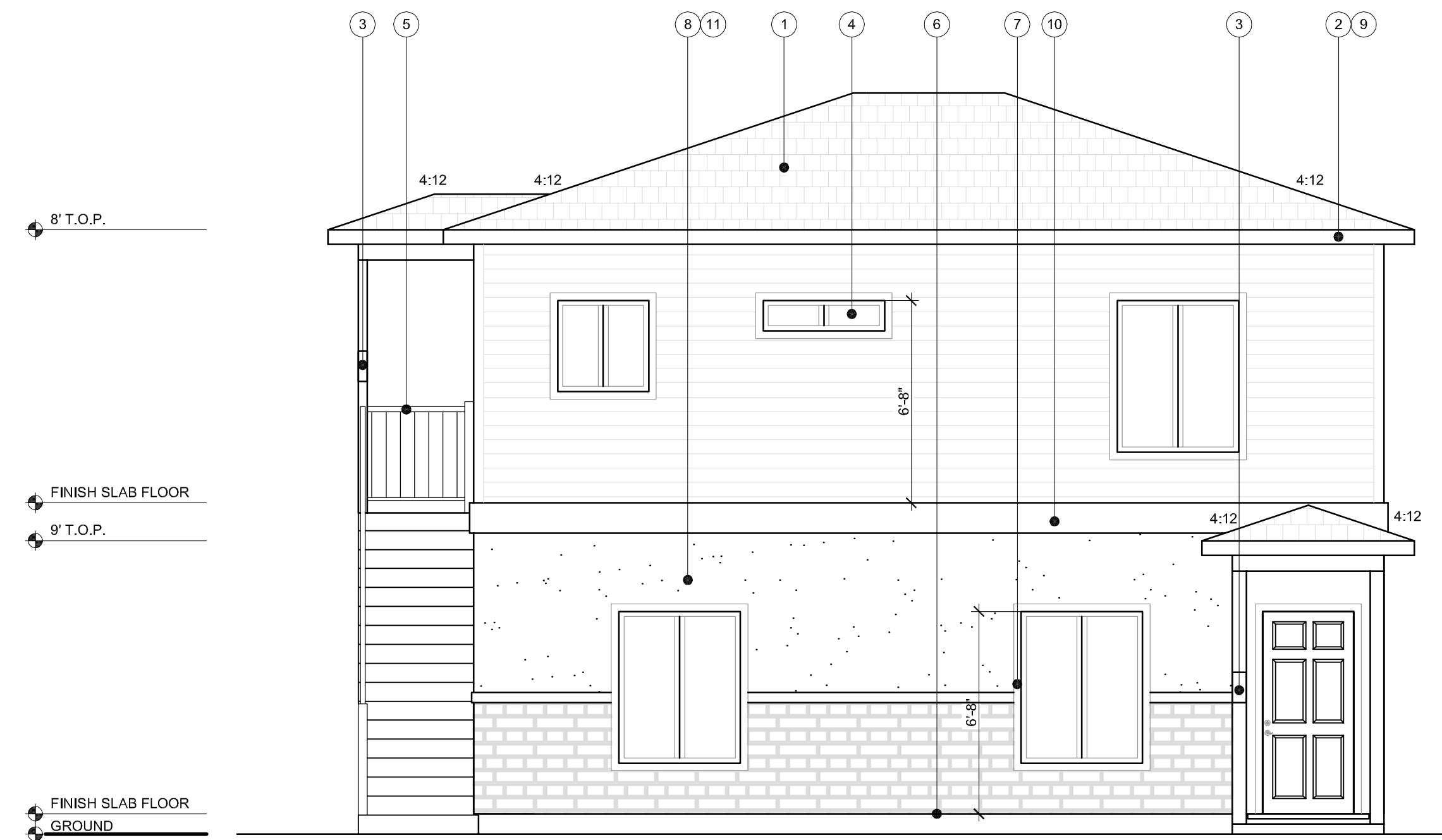
DATE
05/14/2024

DESIGNER
MJ

Sheet
A3

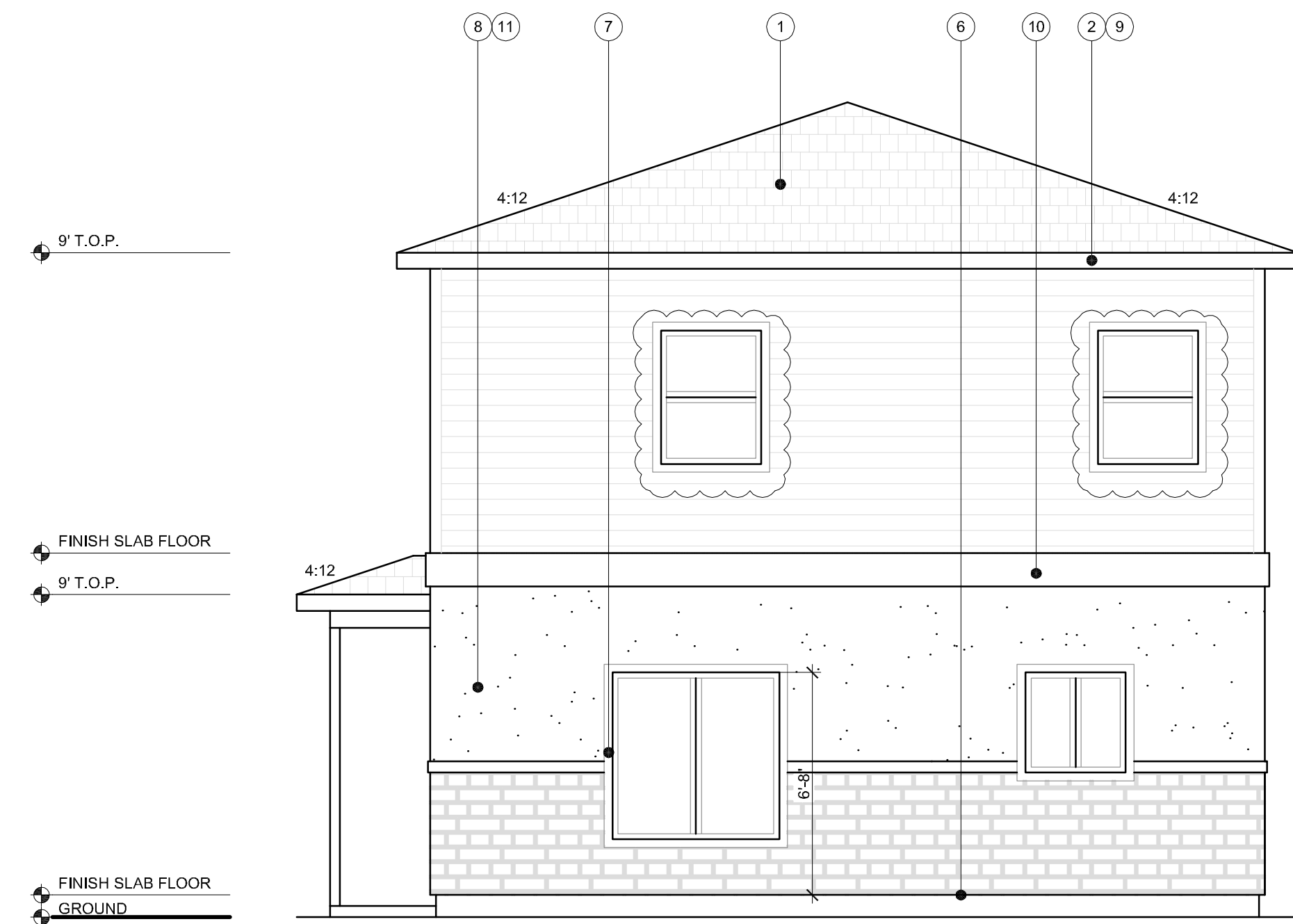
WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALE DIMENSIONS. Contractors and home owner builders shall verify and be responsible for dimensions and conditions of the project. Fineline Drafting services must be notified of any variation from the dimensions, conditions and specification appearing on this plan.

SEE page A1.2 & AG1 for Building Code requirements



FRONT ELEVATION

SCALE 1/4" = 1'-0"



RIGHT ELEVATION

SCALE 1/4" = 1'-0"



REAR ELEVATION

SCALE 1/4" = 1'-0"



LEFT ELEVATION

SCALE 1/4" = 1'-0"

- LEGEND ○
- Class A 40 year laminated dimensional composition roof finish over 15# felt layer - typ.
 - 7" metal gutter attached directly to trusses' s overhanging ends.
 - Address number plate on the building elevation which shall be clearly visible from the adjacent access street or road. The numbers shall be no less the 4" in height and 1/2" in width and shall be of a contrasting color and illuminated at night
 - Tempered glass window
 - Guard rail/hand rail (see floor plan for specifications and requirements)
 - 26 gauge galvanized weep screed below stucco or stone veneer a minimum 4 inches above grade, or 2 inches above paved surfaces - typ.
 - Wood Trim
 - 1 COAT STUCCO SYSTEM**
 - 15# Moisture layer overlay,
 - then 1" foam layer, wire mesh,
 - 1 coat base stucco 3/8" to 2" thick 4) finish colored layer,
 - Acrylic primer layer before the finish layer is optional.
 - has 26-gauge galvanized weep screed at foundation plate line at least 4-inches above grade or 2-inches above concrete or paving.
 - Metal drip edge is required for all composition roof installation
 - TRIM BAND
 - EXTERIOR PLYWOOD SHEATHING**
MINIMUM 3/8" PLYWOOD SHEATHING AT ALL EXTERIOR WALLS, COLUMNS AND UNDER COVER PORCH CEILINGS - TYPICAL (PER PLAN)

PH (916) 332 2282
fineline300@comcast.net
www.finelineDnc.com

Fineline
DRAFTING INC.

EST. 2008
CALIFORNIA CORPORATION # 2422433

SHEET TITLE
ELEVATIONS

PROJECT NAME
**DUPLEX
141 BIRCH ST. - UNIT A & B
ROSEVILLE, CA 95678**

OWNER- CONTACT
**Perfect Home Solutions LLC /
Sergey Brodskiy**

PROJECT
24-051

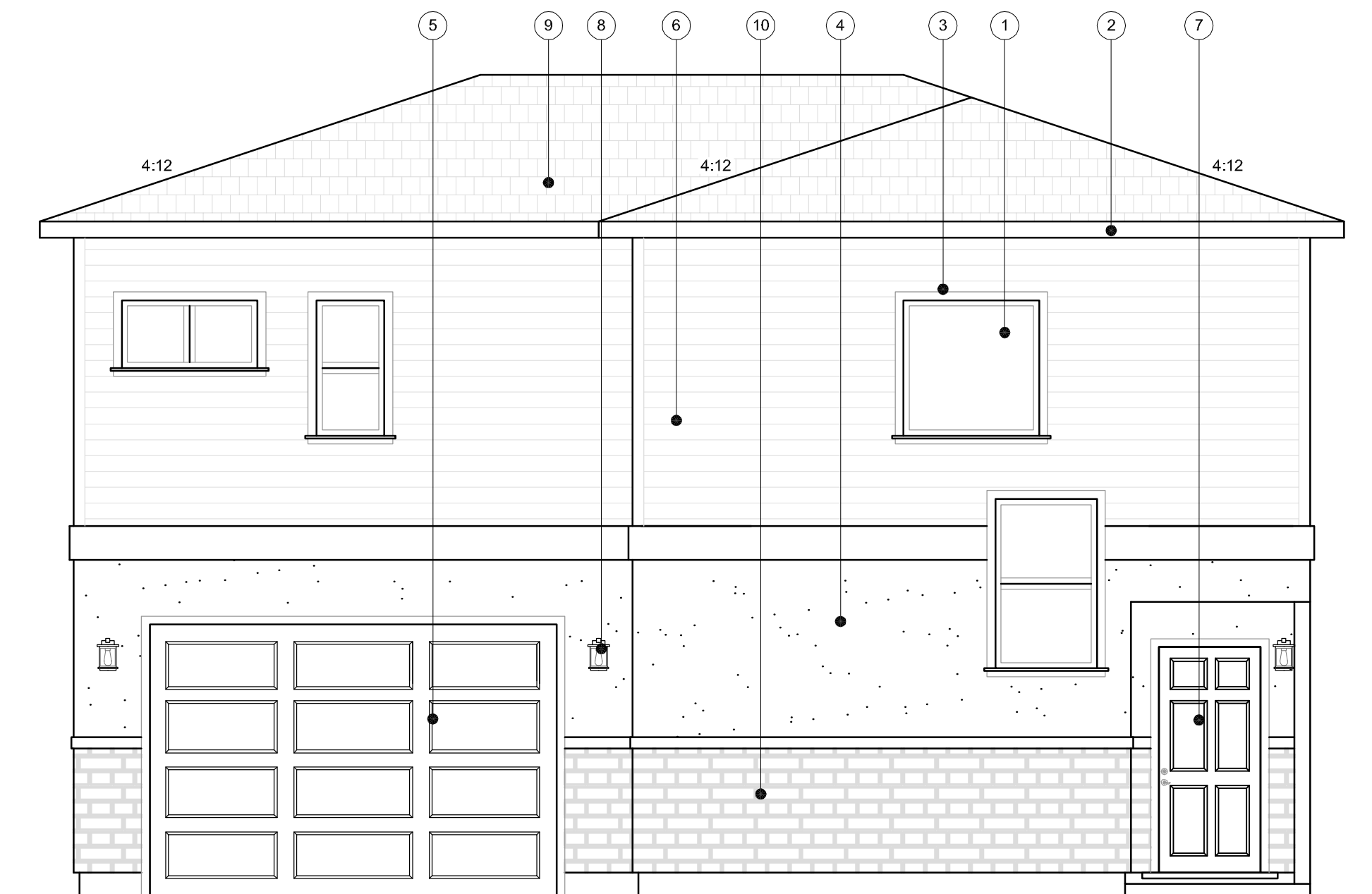
DATE
05/14/2024

DESIGNER
MJ

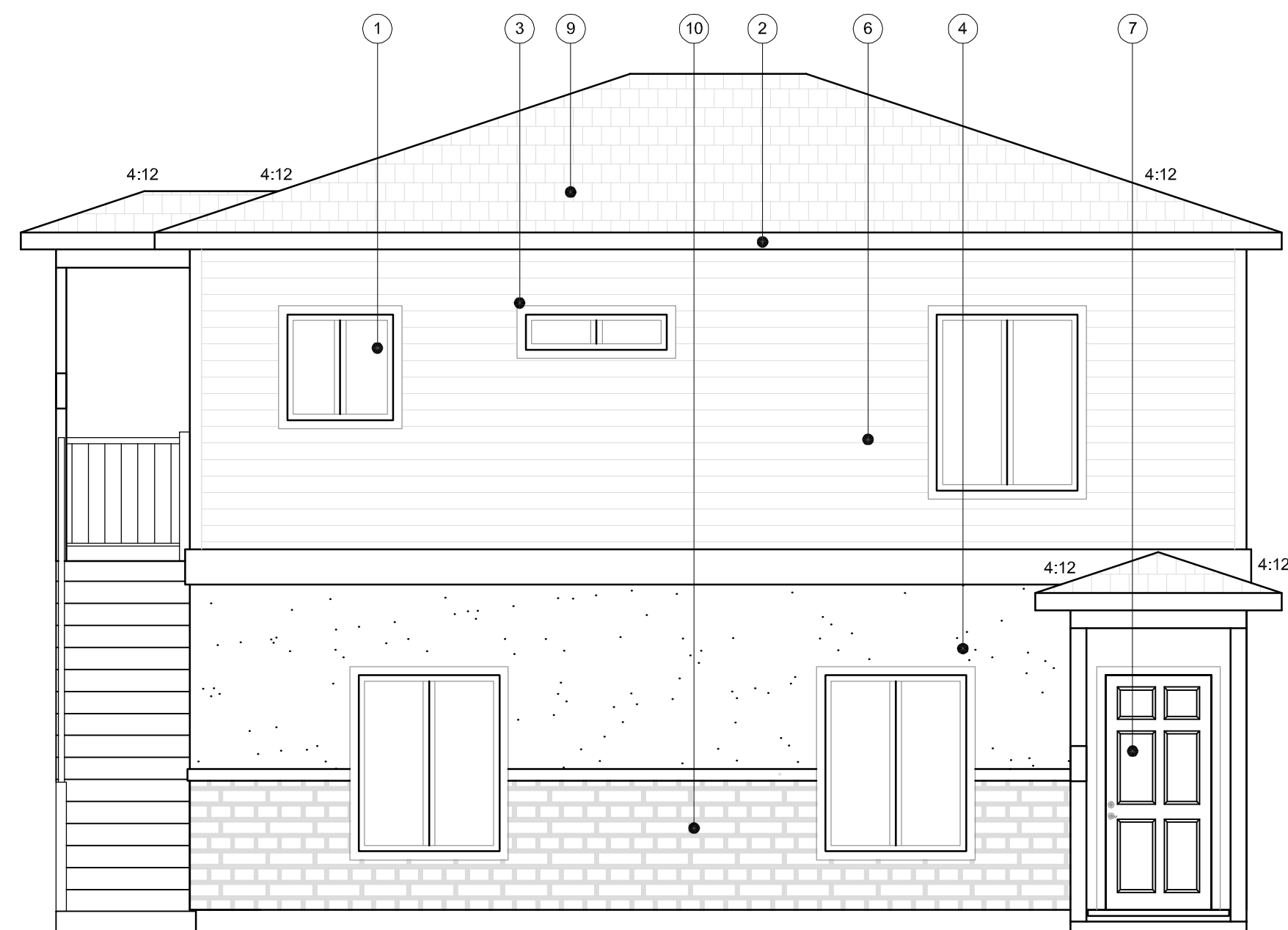
Sheet
A5

5300 Primrose Drive suite 119, Sacramento, CA 95828

OWNER / CONTRACTOR NOTE:
ALL OF THE VERIFYING PLUS / MINUS DIMENSIONS ON THE PLANS ARE TO BE DISCUSSED WITH THE DESIGNER OR ENGINEER BEFORE THE CONSTRUCTION BY THE CONTRACTOR AND OWNER.




PRIMARY UNIT
COLOR CHART
N.T.S.



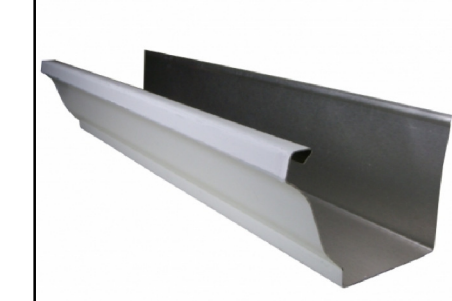
DUPLEX
COLOR CHART
N.T.S.

MATERIAL KEY:

① **WINDOWS - Andersen 100 Series White Composite Windows with Low-E Glass, White Int & Hardware**



② **GUTTERS:**



COLOR: SW 6083 Sable

③ **TRIM**

COLOR: SW 6083 Sable

④ **STUCCO: SAND FINISH**



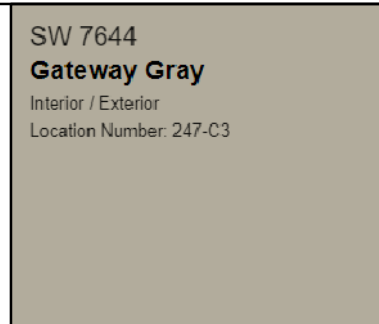
COLOR: AkroFlex - OmegaFlex 9257 Adrenaline

⑤ **GARAGE DOOR: LONG PANEL STYLE**

COLOR: SW 6083 Sable

⑥ **HARDIE SIDING**


COLOR: SW 7644 Gateway Gray
Interior / Exterior
Location Number: 217-C3



⑦ **FRONT DOOR: 36 in. x 80 in. Premium 6-Panel Left Hand Inswing Primed Steel Prehung Front Exterior Door with Brickmold by Masonite**


COLOR: SW 6083 Sable

⑧ **Square 1-Light Black Outdoor Wall Lantern Sconce by LNC**



⑨ **ROOF FINISH: Timberline HDZ Algae Resistant Laminated High Definition Shingles by GAF**

COLOR: HICKORY



⑩ **STONE VENEER: RED BRICK**

COLOR: OLD TOWN RED



SEE page A1.2 & AG1 for Building Code requirements

OWNER / CONTRACTOR NOTE:

ALL OF THE VERIFYING PLUS / MINUS DIMENSIONS ON THE PLANS ARE TO BE DISCUSSED WITH THE DESIGNER OR ENGINEER BEFORE THE CONSTRUCTION BY THE CONTRACTOR AND OWNER.

WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALE DIMENSIONS. Contractors and home owner builders shall verify and be responsible for dimensions and conditions of the project. Fineline Drafting services must be notified of any variation from the dimensions, conditions and specification appearing on this plan.

PH (916) 332 2282
fineline300@comcast.net
www.finelineDnc.com
5300 Primrose Drive suite 119, Sacramento, CA 95829

Fineline
DRAFTING INC.

STAMP
DRAFTING INC.
EST. 2000
CALIFORNIA CORPORATE SEAL

SHEET TITLE
COLOR CHART

PROJECT NAME
PRIMARY RESIDENCE
141 BIRCH ST.
ROSEVILLE, CA 95678

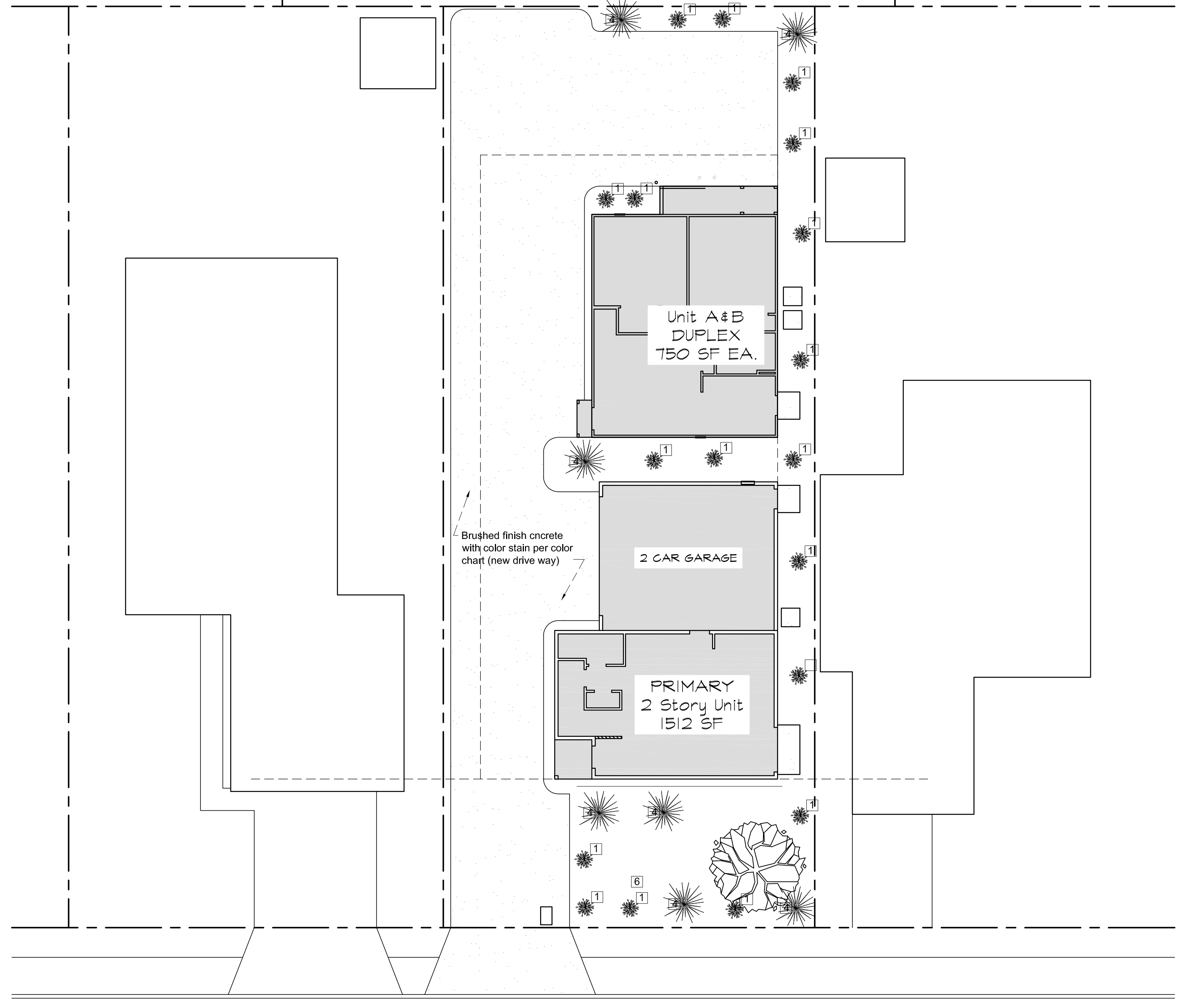
OWNER- CONTACT
Perfect Home Solutions LLC /
Sergey Brodskiy

PROJECT
24-049

DATE
06/26/2024

DESIGNER
MJ

Sheet
A5.1



SCOPE OF WORK:

- ALL EXISTING WEEDS, UNUSABLE ROCK, AND DEBRIS CREATED DURING CONSTRUCTION TO BE REMOVED.
- TRENCHING TO BE PERFORMED FOR DRAINAGE AND IRRIGATIONS SYSTEMS.
- DRAINAGE SYSTEM TO BE INSTALLED. 4 INCH ADS DRAINAGE LINE INSTALLED FROM ALL DOWNSPOUTS, USING DOWNSPOUT ADAPTERS, AND ROUTED AWAY FROM HOME. CATCH BASINS WITH DRAIN GRATES INSTALLED WHERE NECESSARY TO ENSURE PROPER WATER RUNOFF. NO DRAINAGE SHALL CROSS PROPERTY LINES.
- PROVIDING A PERFORATED PVC FOOTING DRAIN FOR ALL RETAINING WALLS. PIPE SHALL BE WRAPPED IN A FILTER FABRIC AND PLACED WITH AN 8 INCH SQUARE, PEA GRAVEL ENVELOPE. CONNECT DRAIN LINE TO EXISTING DRAINAGE.
- CUSTOM AUTOMATIC IRRIGATION SYSTEM INSTALLED TO ALL LANDSCAPED AREAS. COMMERCIAL GRADE RAINBIRD VALVES TO BE INSTALLED. LAWN TO BE IRRIGATED WITH POP-UP STYLE RAINBIRD SPRAY HEADS. DRIP SYSTEM WITH PRESSURE COMPENSATING EMITTERS WILL BE USED TO GUARANTEE A BALANCED AND ACCURATE DISBURSEMENT OF WATER. ALL WIRING INSTALLED FROM VALVE LOCATIONS TO GARAGE.
- CONTOUR MOUNDS TO BE CREATED PER DESIGN PLAN UTILIZING SOIL EXCAVATED FROM RETAINING WALL CONSTRUCTION. ORIGINAL GRADE TO BE MAINTAINED WITHIN 2 FT OF THE FENCE.
- PLANTER MIX TO BE USED FOR ALL PLANTING HOLES.
- ALL PLANTING AS PER DESIGN SPECIFICATIONS. ALL PLANTINGS TO BE INCLUDE SLOW RELEASE FERTILIZER TABLETS. 15 GALLON TREES TO BE DOUBLE STAKED.
- FINISH GRADING PERFORMED BY HAND IN PLANTER AREA.
- SITE TO BE LEFT CLEAN EVERYDAY. AT THE COMPLETION OF THE JOB, ALL CONSTRUCTION DEBRIS TO BE HAULED OFFSITE AND ANY WALKWAYS TO BE HOSED DOWN.

NOTE:

- SCOPE OF WORK DETAILS INSTALLATION / CONSTRUCTION OF ENTIRE DESIGN CONCEPT, ACUTAL WORK, AND RELATED DETAILS PROVIDED BY CONTRACTOR MAY VARY. PLEASE REFER TO ANY SIGNED AGREEMENT BETWEEN OWNER AND CONTRACTOR FOR ACTUAL WORK TO BE PERFORMED. PLANS ARE DIAGRAMMATIC. OWNER AND CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING ALL EXISTING CONDITIONS AND ADJUST ACCORDINGLY.

PLANT LEGEND					
LEGEND	BOTANIAL NAME	COMMON NAME	Water Classification	SIZE	Quantity
1	Tulbaghia violacea	society garlic	Low	1 GALLON	30
4	Lavandula dentata	French Lavender	Low	1 GALLON	19
6	Lagerstroemia spp.	Red Crape Myrtle Shrub	Low	5 GALLON	11
8	Pistacia Chinenis	Chinese Pistache	Low	36" box	3

Landscape Erosion & Sedimentation Control Notes to be included in the submittal:

- All erosion and sediment control measures shall be constructed and maintained in accordance with the later addition of the City Folsom Design Standards and the County of Sacramento erosion and sediment control guidelines.
- Temporary erosion control Best Management Practice (BMPs) shall be installed and maintained year round and an effective combination of erosion and sediment control BMPs shall be installed and maintained during the wet season (October 1 through April 30) and prior to the onset of any storm.
- All storm drain inlets within the sork area, and off site storm drain inlets with the potential to receive runoff from the project site, shall be adequately protected with sediment control BMPs to effectively remove sediment from runoff prior to discharge to the storm drain.
- All stabilized construction access locations shall be constructed per the latest edition of the Sacramento county standards to effectively prevent tracking of sediment to paved areas.
- Sediment control BMPs shall be placed along the project perimeter wherever there is potential for drainage and leave the project site.
- Cementitious, paint, waste, and hazardous material shall be handled, covered, and/or stored properly to avoid spills, leakage, and contact with rain or storm water runoff.
- Public streets and sidewalks shall be swept daily from construction activities. Washing the street shall not be permitted.
- Upon completion of the project, all BMPs shall be removed once landscaping is installed and functioning to the satisfaction of the city.
- For project sites larger the 1 acre, erosion and sediment control measures shall be in substantial compliance at all times with the Storm Water Pollution Prevention Plan (SWPPP) Prepare for the project in accordance with the state of California General Construction Permit. This permit requires that SWPPP is available on site at all times for review by state and local inspectors. The contractor shall be required to meet the follow all NPDES requirements in effect at the time of construction.

PLANTING NOTES:

- INSTALLING CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND AREAS TO BE PLATED PRIOR TO START OF JOB. NOTIFY OWNER AND DESIGNER OR ANY DISCREPANCIES PRIOR TO STARTING WORK.
- ALL PLANTING AREAS SHALL BE FREE OF TRASH, DEBRIS AND CONSTRUCTION MATERIALS LARGER THEN 2 INCHS AND BE BROUGHT TO FINISH GRADE BEFORE PLANTING BEGINS.
- SLOPE ALL SURFACES WITH REGARD TO DRAINAGE REQUIREMENTS SO THAT WATER DOES NOT STAND. FINISH GRADES SHALL BE FLUSH AT CATCH BASINS.
- SOIL AMENDMENTS SHALL BE APPLIED AT THE RATE OF SIX CUBIC YARDS PER 1000 SQUARE FEET AND THOROUGHLY ROTOTILLED INTO THE SOIL PRIOR TO PLANTING OR IRRIGATION INSTALLATION.
- AMENDMENT SHALL BE EITHER A NITRIFIED WOOD COMPONENT OR COMPOSTED POULTRY OR MUSHROOM COMPOST OR EQUAL AND SHALL BE FREE OF WEED SEED AND ALL NON-ORGANIC MATERIALS.
- NO SOIL AMENDMENTS ARE TO BE ADDED TO ANY GROUND FOR FOOD PRODUCTION UNLESS CERTIFIED AS ORGANIC.
- ALL PLANTS SHALL BE QUALITY NURSERY STOCK, LABELED TRUE TO NAME AND VARIETY.
- PLANTING HOLES SHALL BE 1 1/2 TIMES THE DIAMETER AND 2 INCHES LESS THE DEPTH OF THE ROOT BALL.
- ALL FIVE GALLON TREES AND LARGER TO BE DOUBLE STACKED AND TIED USING 8 FOOT LODGEPOLE TREE STAKES.
- AFTER COMPLETION OF PLANTING, ALL AREAS ARE TO BE RAKED SMOOTH AND BROUGHT BACK TO FINISH GRADE.
- PRIOR TO PLACEMENT OF TOPDRESSING, ALL SHRUB AND GROUNDCOVER AREAS ARE TO BE TREATED WITH SURFLAN XL PRE-EMERGENT HERBICIDE OR EQUAL AT MANUFACTURER'S RECOMMENDED RATE.
- CONTRACTOR SHALL GUARANTEE FREE FROM ALL SHRUBS, SOD AND GROUNDCOVERS FOR A PERIOD OF 90 DAYS FROM DATE OF COMPLETION OF PROJECT. TREES SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM DATE OF COMPLETION OF THE PROJECT.
- ALL HYDROSEEDDED AREAS SHALL BE GRADED AND PREPARED IN THE SAME MANNER AS SOD INSTALLATION INCLUDING COMPLETE WIND CONTROL/ERADICATION. CLIENT SHALL BE NOTIFIED OF ANY AND ALL DELAYS SUCH PREPARATION SHALL REQUIRE AND MAY CHOOSE TO SIGN A WAIVER RELEASING CONTRACTOR FROM ALL LIABILITY OF WEED ENCROACHMENT OR FAILURE OF THE HYDROSEED IF THE ABOVE STEPS ARE NOT TAKE.

Landscape Plan
SCALE 1"=10'

PH (916) 332 2282
 fineline300@comcast.net
 www.finelinedrafting.com
Fineline DRAFTING INC.
 EST. 2009
 (916) 332-2424
 CALIFORNIA CORPORATE SEAL

SHEET TITLE
LANDSCAPE

PROJECT NAME
PRIMARY RESIDENCE
 141 BIRCH ST.
 ROSEVILLE, CA 95678

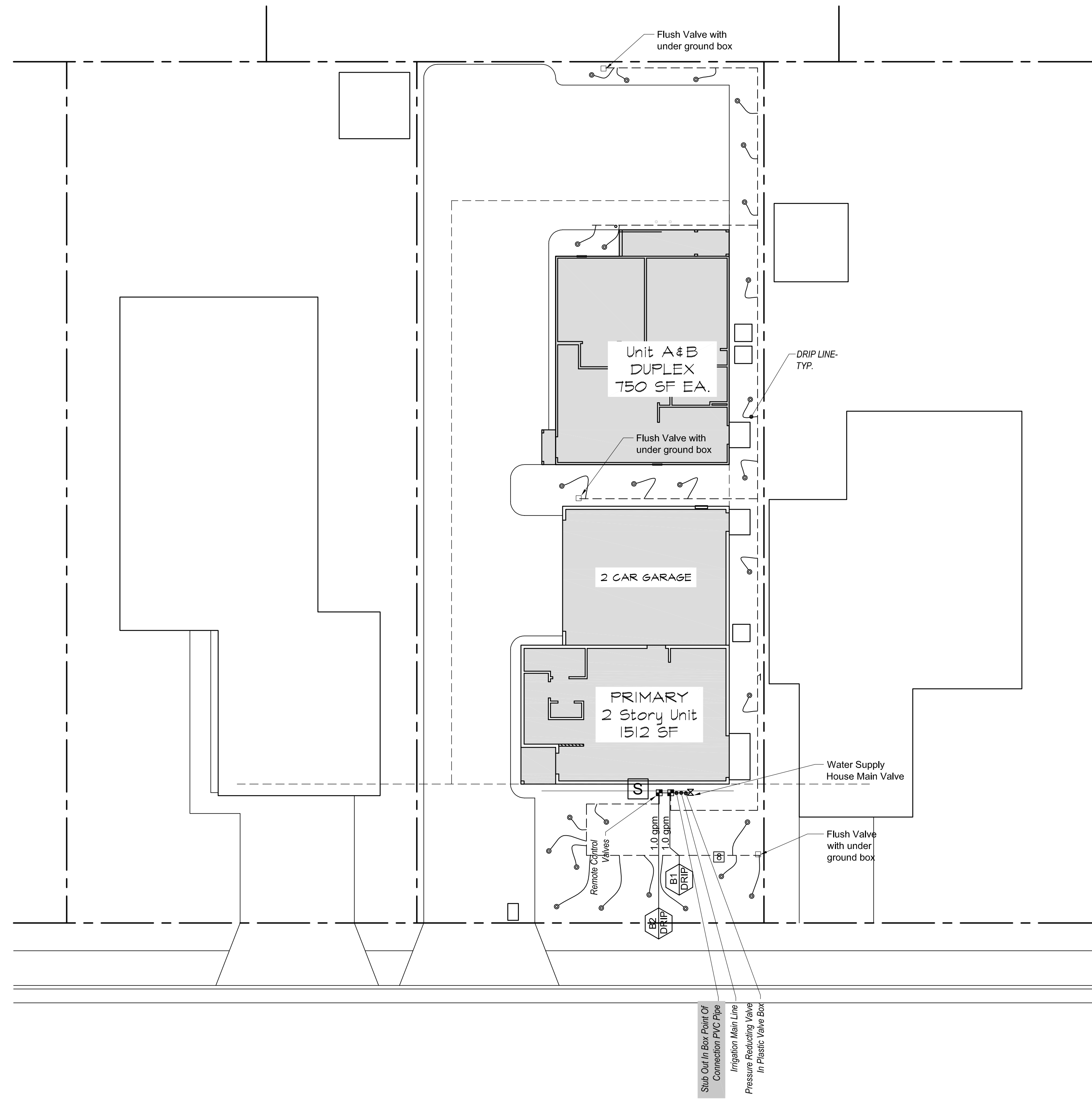
OWNER-CONTACT
Perfect Home Solutions LLC /
Sergey Brodskiy

PROJECT
 24-049

DATE
 06/24/2024

DESIGNER
 MJ

Sheet
L1



IRRIGATION LEGEND

SYMBOL	ITEM	DESCRIPTION	QTY
	PRESSURE REGULATING VALVE W/ ANTI-SIPHON	RAINBIRD SVF SERIES ELECTRIC 075ASVF - 3/4 In. Plastic Residential Irrigation Valve with Flow Control - 3/4 In	3
	WYE FILTER	WYE FILTER SHALL BE PLACED BELOW GRADE IN A GREEN PLASTIC VALVE BOX	3
	CONTROLLER	RAINBIRD RC-C 6 STATION	1
	SOLAR RAIN SYNC SENSOR	HUNTER INDUSTRIES - SOLAR SYNC	1
	SLEEVING LINE	1" POLYETHYLENE TUBING	3
	DRIP LINE	1/2" OR 3/4" POLYETHYLENE TUBING	32



Irrigation Plan
SCALE 1"=10'

PH (916) 332 2282
Fineline
 DRAFTING INC.
 fineline300@comcast.net
 www.finelineDInc.com
 5330 Primrose Drive suite 119, Sacramento, CA 95828

STAMP

SHEET TITLE
LANDSCAPE

PROJECT NAME
PRIMARY RESIDENCE
 141 BIRCH ST.
 ROSEVILLE, CA 95678

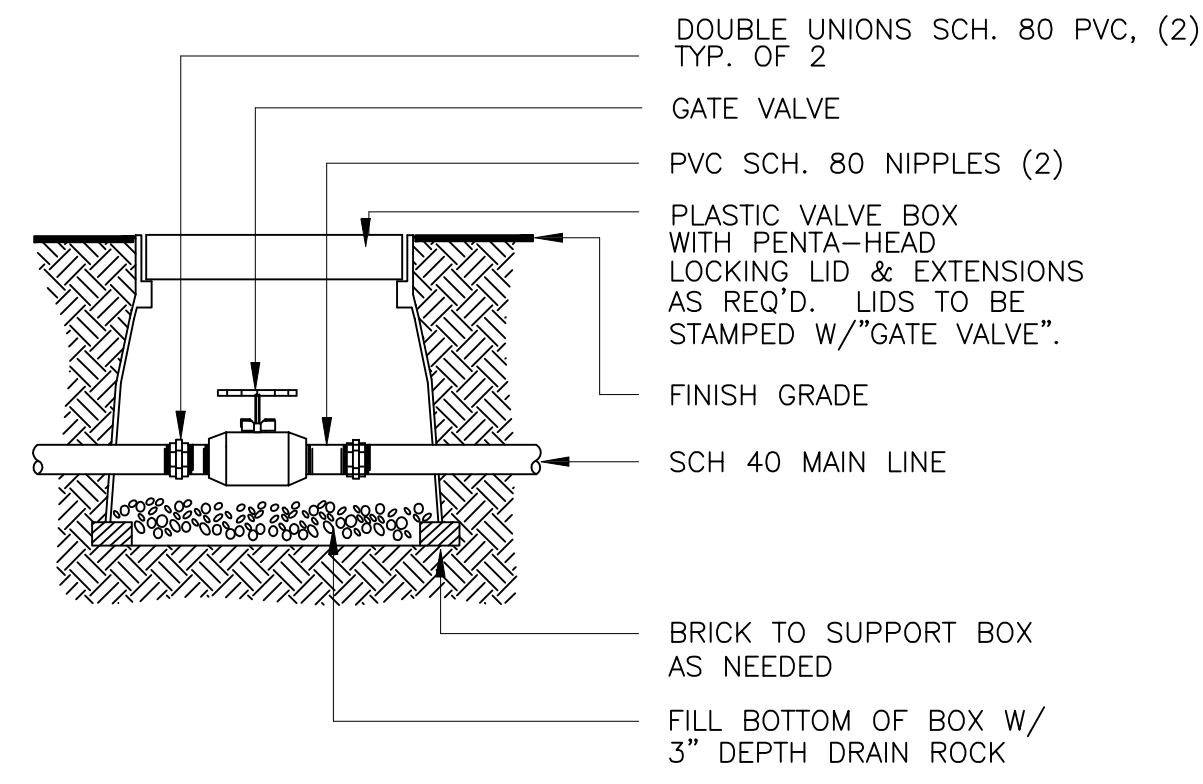
OWNER- CONTACT
Perfect Home Solutions LLC /
Sergey Brodskiy

PROJECT
 24-049

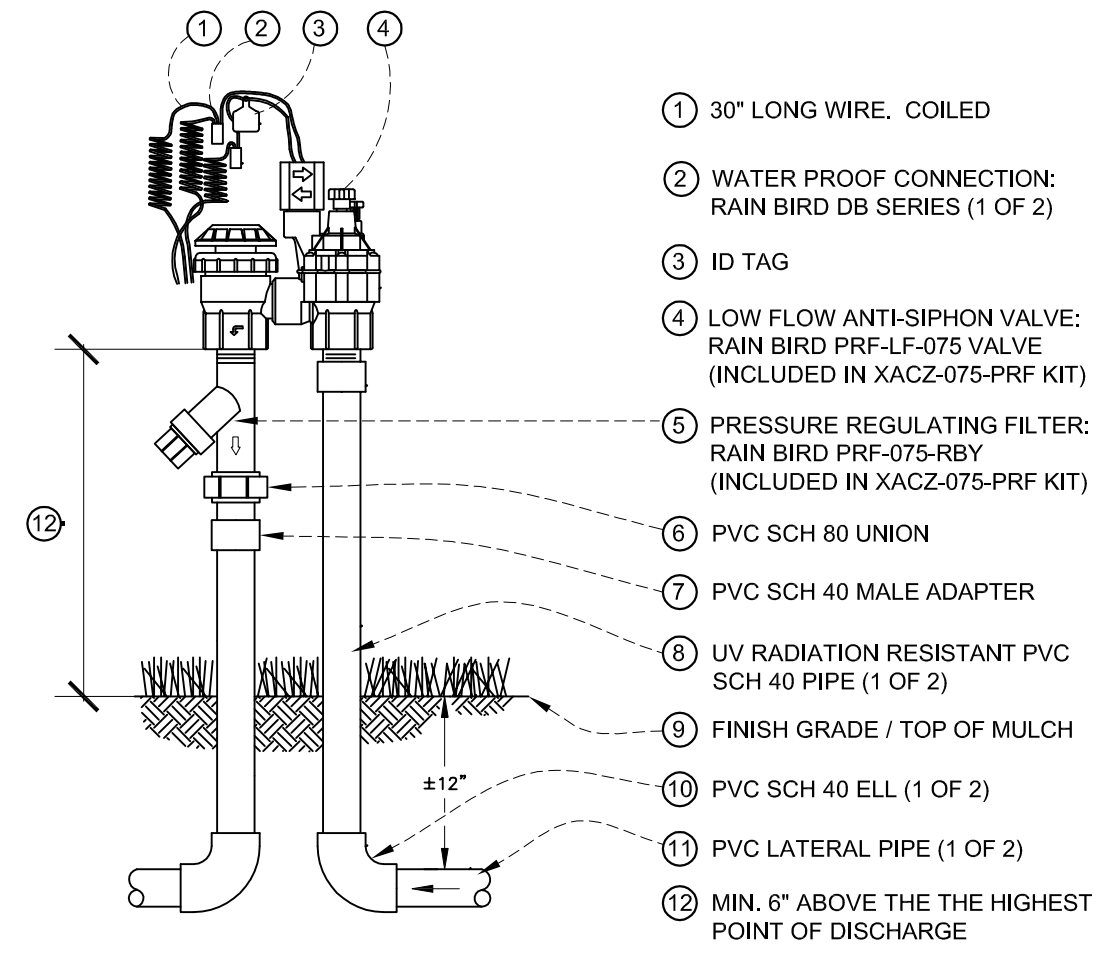
DATE
 06/24/2024

DESIGNER
 MJ

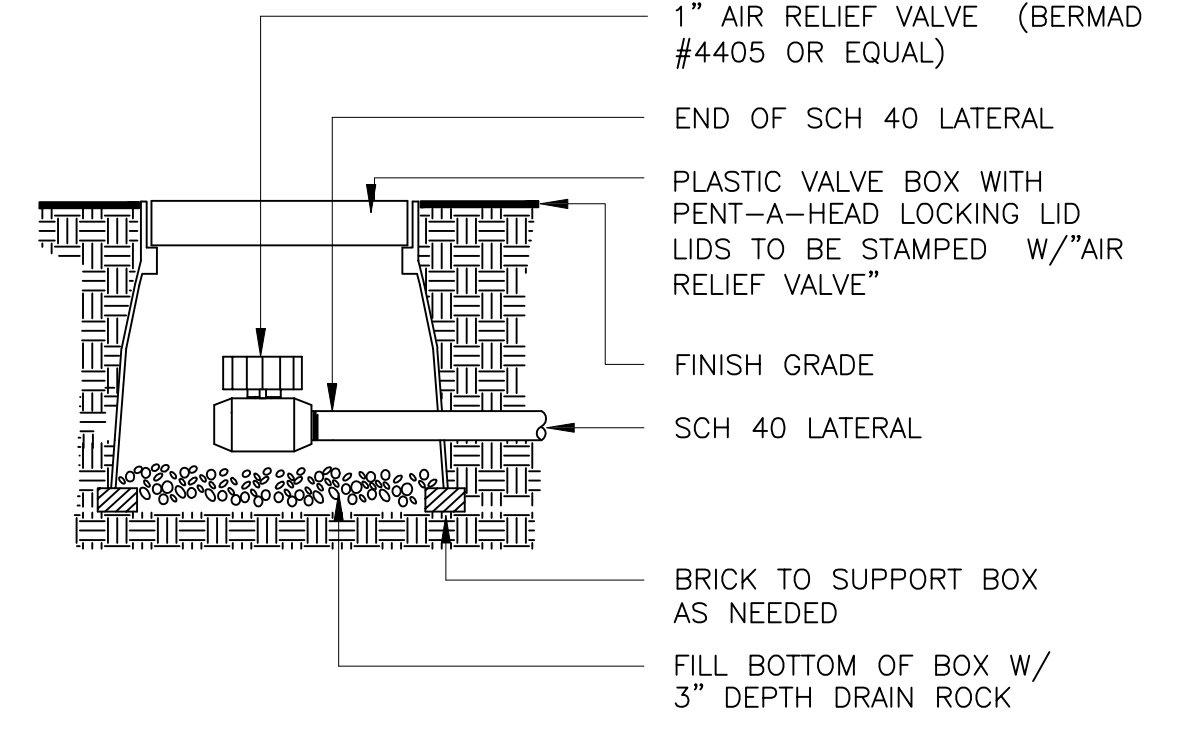
Sheet
L2



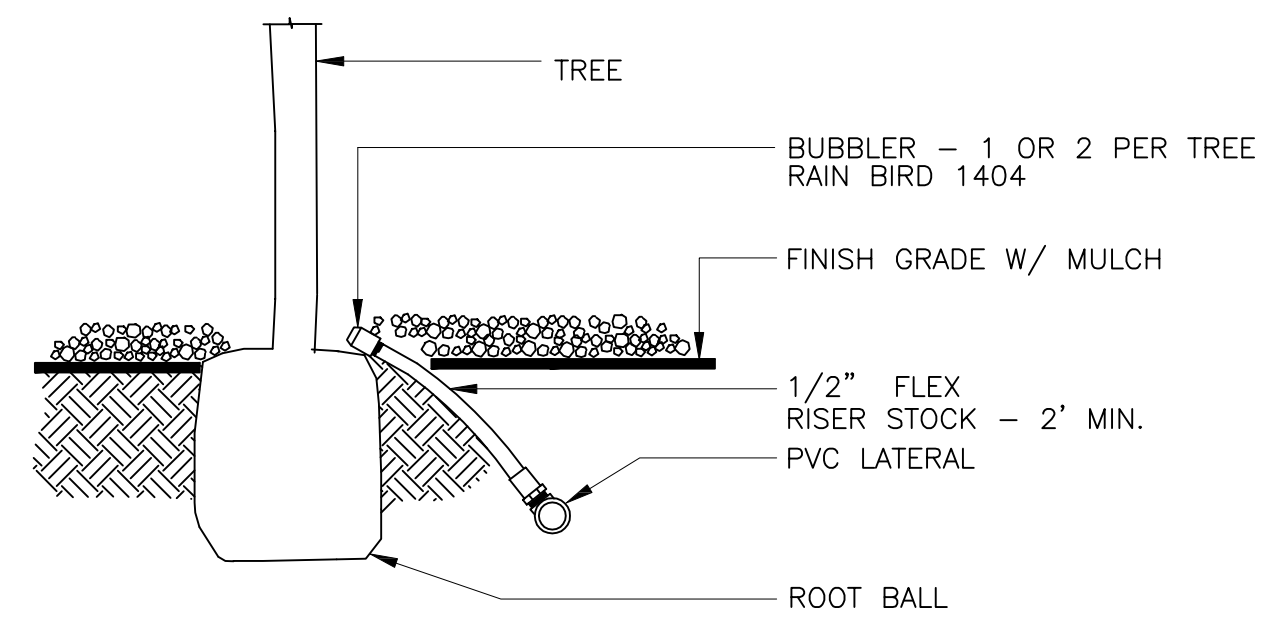
1 GATE VALVE
-- NOT TO SCALE



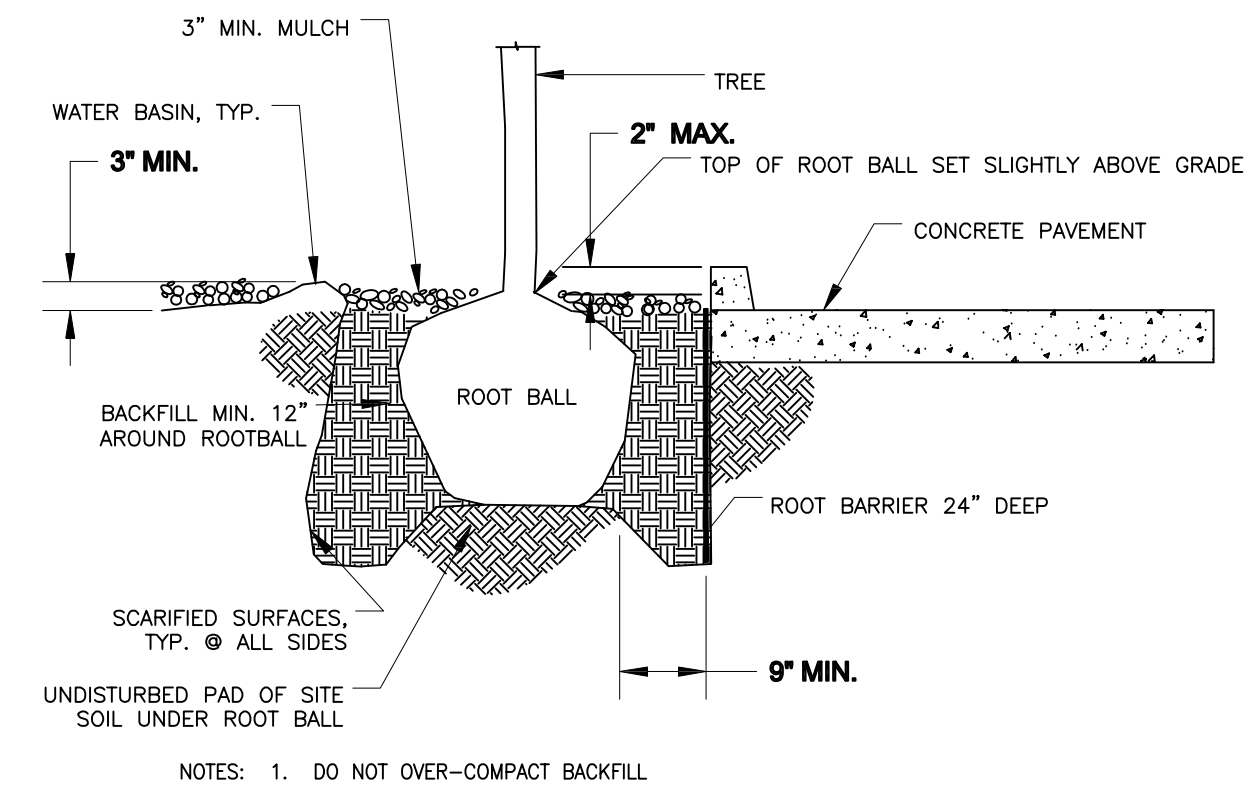
4 REMOTE CONTROL VALVE
-- NOT TO SCALE



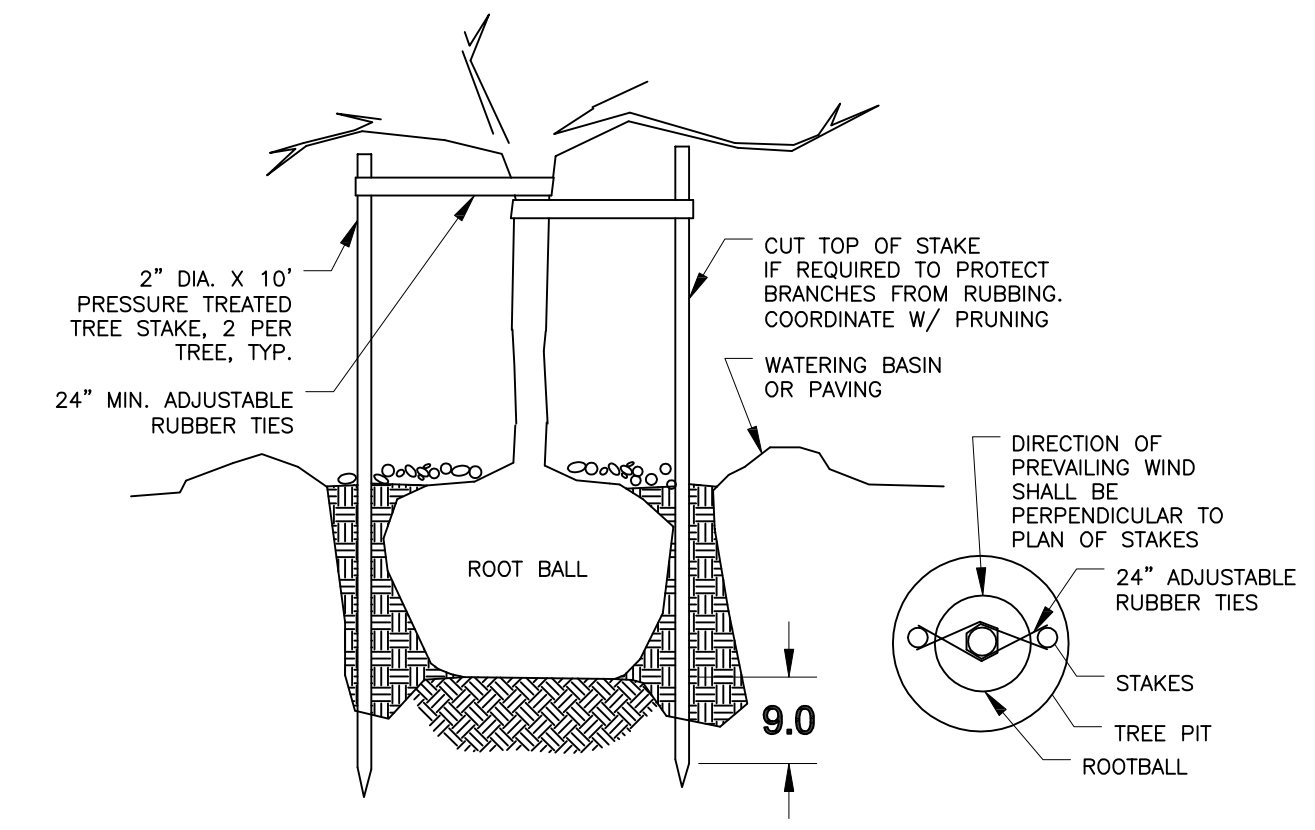
6 AUTOMATIC FLUSH VALVE
-- NOT TO SCALE



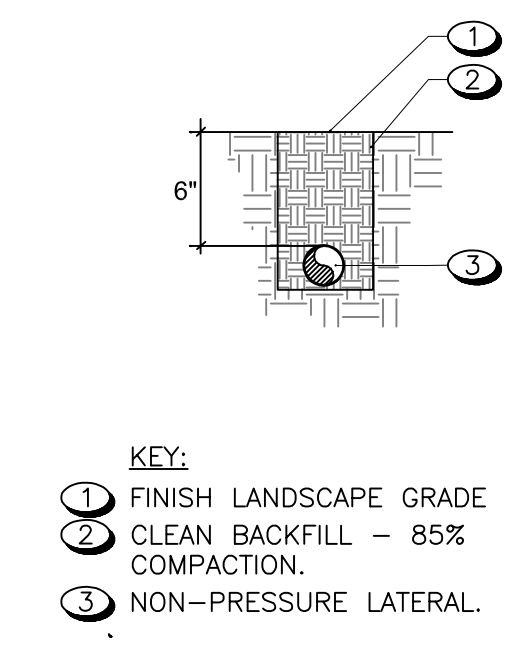
9 TREE BUBBLER
-- NOT TO SCALE



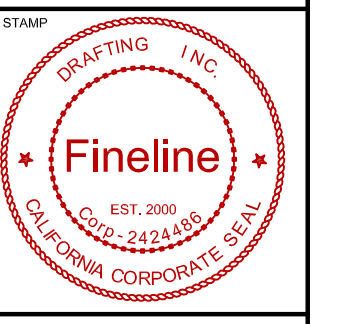
10 TREE PLANTING
-- NOT TO SCALE

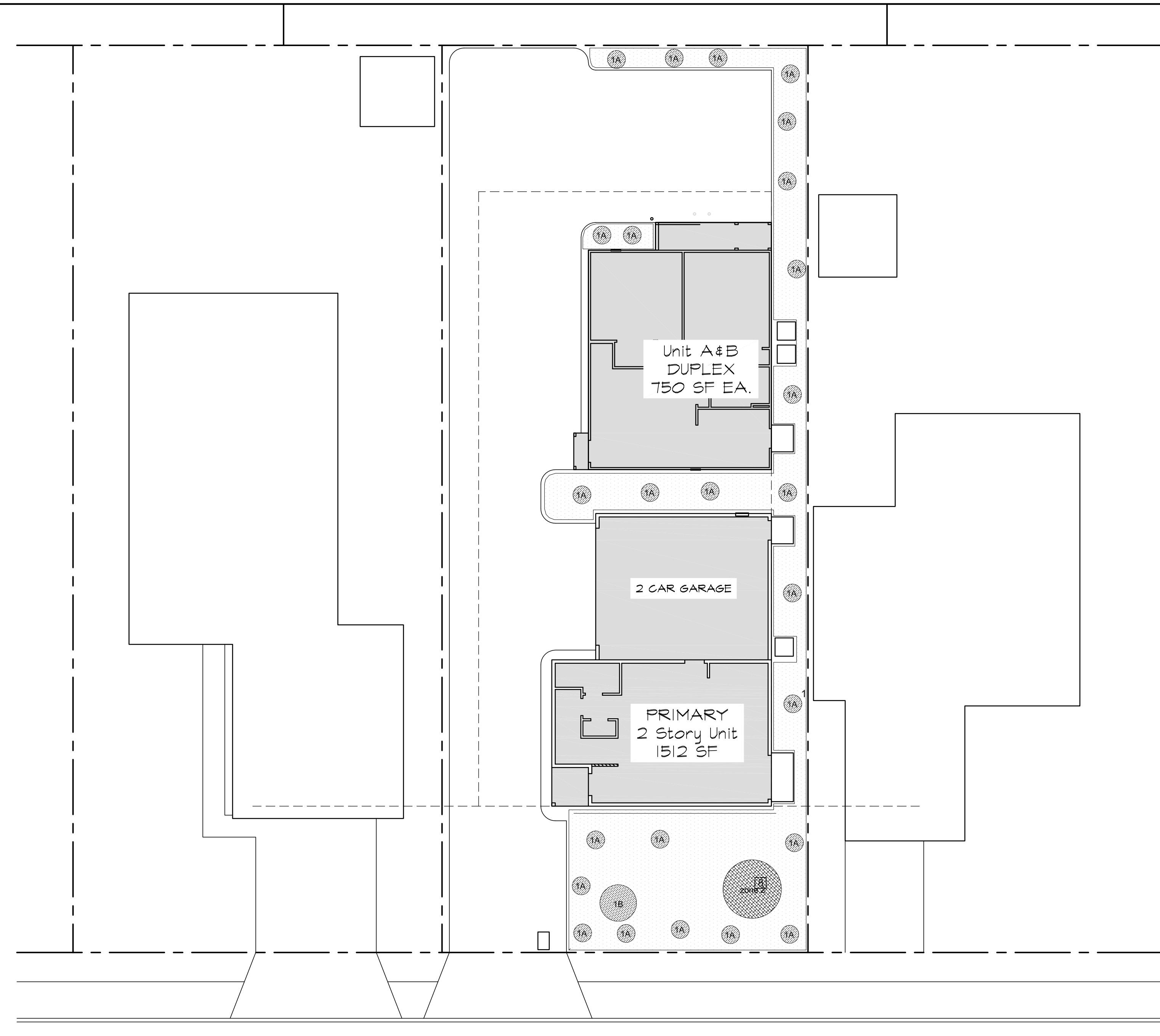


11 TREE STAKING
-- NOT TO SCALE



8 PIPE TRENCHING
-- NOT TO SCALE





HYDROZONE TABLE - (1518 Gionata Way)

Hydrozone	Water Used	Zone	Irrigation type	Landscape Area sf	% of Landscape Areas
ZONE 1	LOW	1	DRIP	250	20.2
ZONE 2	LOW	2	DRIP	20	1.6
ZONE 3	NONE	3	NONE	50	4.0
				1240.0	100.0

% OF HYDROZONE IN LANDSCAPE AREA 25.8%

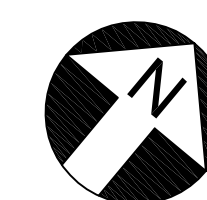
I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM ACCORDINGLY FOR THE EFFICIENCY USE OF WATER IN THE LANDSCAPE DESIGN PLAN.

DUNNEIL VIAU
LANDSCAPE DESIGNER

REQUIRED NOTES

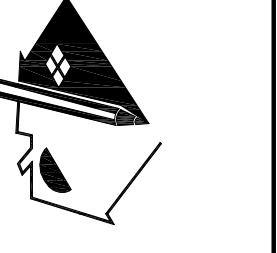
- UNLESS CONTRADICTED BY SOILS TEST, COMPOST AT A RATE OF A MINIMUM OF SIX CUBIC YARDS PER 1,000 SF OF PERMEABLE AREA SHALL BE INCORPORATED TO A DEPTH OF EIGHT INCHES INTO THE SOIL.
- AT THE TIME OF FINAL INSPECTION, THE PERMIT APPLICANT MUST PROVIDE THE OWNER OF THE PROPERTY WITH A CERTIFICATE OF COMPLETION, CERTIFICATE OF INSTALLATION, IRRIGATION SCHEDULE OF LANDSCAPE AND IRRIGATION MAINTENANCE.
- COMPACT SOILS MUST BE TRANSFORMED TO A "TRIALABLE" CONDITION TO MAXIMIZE WATER RETENTION.
- INCORPORATE COMPOST INTO THE SOIL TO A MINIMUM OF 8" AT A MINIMUM RATE OF 6 CY PER 100 SF, SOILS WITH CREATOR THAN 6% ORGANIC MATER IN THE TOP 6 INCHES OF SOIL ARE EXEMPT FROM ADDING COMPOST AND TITLING.
- A MINIMUM 3" LAYER OF MULCH SHALL BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT IN TURF AREAS, CREEPING OR ROOTING GROUND COVERS OR DIRECT SEEDING APPLICATIONS. TO PROVIDE HABITAT FOR BENEFICIAL INSECT AND OTHER WILDLIFE, UP TO 5% OF THE LANDSCAPE AREA MAY BE LEFT WITHOUT MULCH.
- SOIL AMENDMENTS MUST BE INCORPORATE ACCORDING TO WHAT IS APPROPRIATE FOR THE PLANTS SELECTED.

- ZONE 1** ZONE 1 - A=10SF, B=20SF
SHURBS & BUSHES
DRIP LINES - LOW WATER
- ZONE 2** ZONE 2 - 50 SF
TREES ONLY
DRIP LINES (LOW WATER)
- ZONE 3** ZONE 3
MIN. 3" DEEP TREE BART
NO WATER REQUIRED



Water Used Plan

SCALE 1"=10'



PROJECT NAME

LANDSCAPE

PRIMARY RESIDENCE
141 BIRCH ST.
ROSEVILLE, CA 95678

OWNER- CONTACT
Perfect Home Solutions LLC /
Sergey Brodskiy

PROJECT 24-049

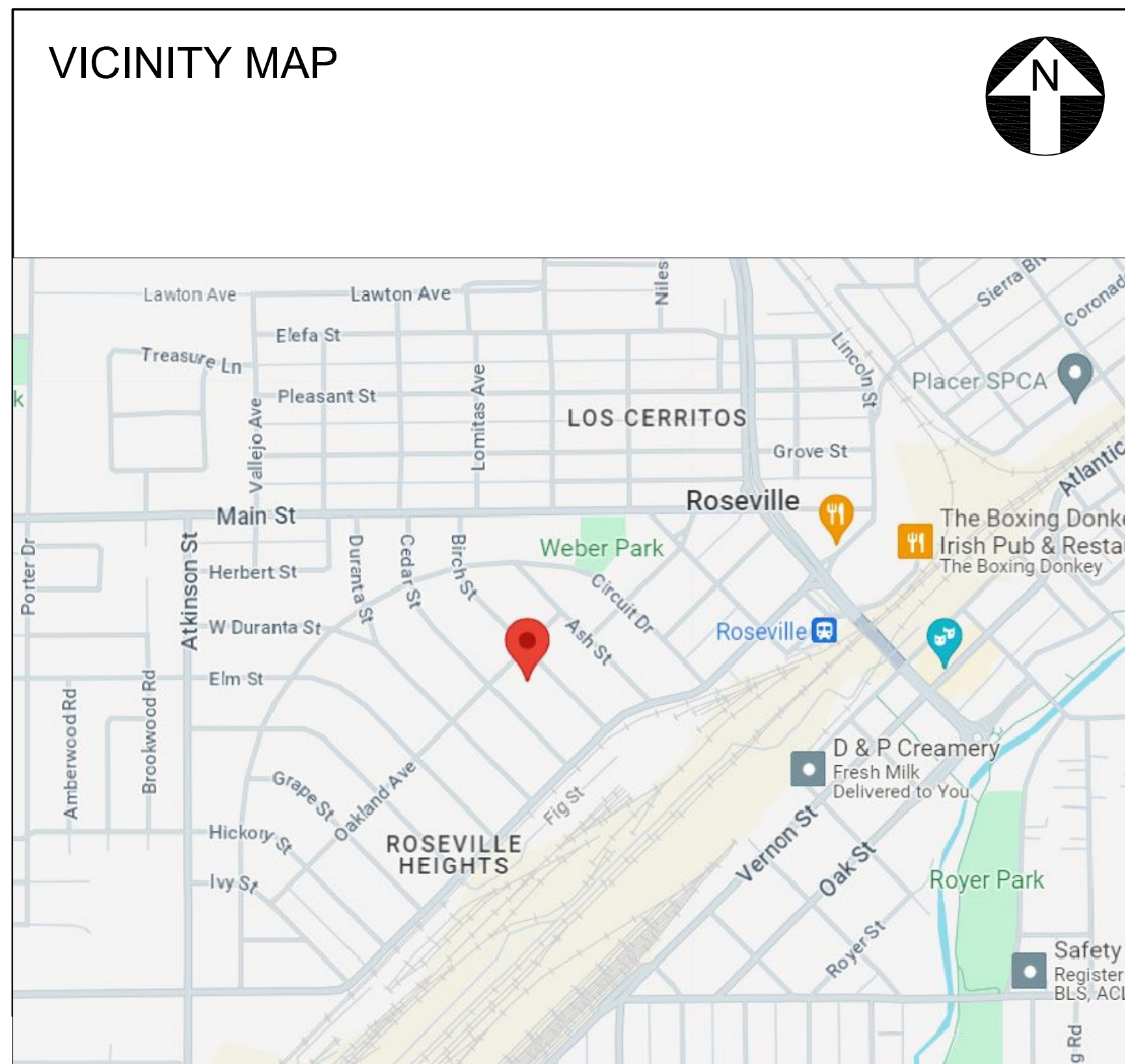
DATE 06/24/2024

DESIGNER MJ

Sheet

L4

**!!TITLE 24 NOTE!!
CALL HERS INSPECTOR
PRIOR TO INSULATION
INSTALLATION.**



MULTI FAMILY UNITS 141 BIRCH ST. ROSEVILLE, CA 95678

SCOPE OF WORK:
NEW CONSTRUCTION OF 3 UNITS WITH 6 PARKING SPACES

FOOTAGE (PRIME UNIT)		FOOTAGE (DUPLEX-1)	
1ST LEVEL LIVING	574 SF	LIVING AREA	750 SF
2ND LEVEL LIVING	938 SF	STAIR & LANDING	62 SF
SUB TOTAL LIVING	1,525 SF	GRAND TOTAL	812 SF
GARAGE	480 SF		
FRONT PORCH	26 SF	FOOTAGE (DUPLEX-2)	
GRAND TOTAL	2,031 SF	LIVING AREA	750 SF
		PORCH - FRONT	10 SF
		GRAND TOTAL	760 SF

THIS PLAN SET IS DESIGNED TO COMPLY WITH 2022, CRC, CMC, GPC, CEC, CFC, AND 2022 CALIFORNIA ENERGY COMPLIANCE OF TITLE 24, CALIFORNIA BUILDING CODE & 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE
The applicable Codes and Standards currently adopted within the City of Roseville include the 2022 California Building Code and the 2022 California Fire Code. The adopted version of NFPA 13, Standard for the Installation of Sprinkler Systems is the 2022 edition.
SEISMIC ZONE CATEGORY D

CITY OF ROSEVILLE

OCCUPANCY R-3, U
TYPE OF CONSTRUCTION V-B
NO. OF STORIES 2
NO. OF BED ROOMS 3

NO. OF UNITS 3
FIRE SPRINKLER YES

SHEET INDEX

A1.1	COVER SHEET
A2	SITE PLAN
A3	FLOOR PLAN
A5	ELEVATION PLAN
L1	LAND SCAPE PLAN

PH (916) 332 2282
fines300@comcast.net
www.fines300.com
5530 Primrose Drive suite 119, Sacramento, CA 95828

Finline
DRAFTING INC.

STAMP
DRAFTING INC.
Finline
EST. 2009
CALIFORNIA CORPORATE SEAL

SHEET TITLE
COVER SHEET

PROJECT NAME
**PRIMARY RESIDENCE
141 BIRCH ST.
ROSEVILLE, CA 95678**

OWNER- CONTACT
**Perfect Home Solutions LLC /
Sergey Brodskiy**

PROJECT
24-049

DATE
07/11/2024

DESIGNER
MJ

Sheet
A1.1